

DEVELOPMENT PACKAGE

Ancillary Rural Development – Farm Sheds – RU1 zoned land

Pursuant to HILLTOPS Local Environmental Plan 2022

Proposal	Farm Shed – Storage of farm equipment and tools as well as materials
Subject Land Address	Lot 7 DP 1145771
	541 Wirrimah Rd, WIRRIMAH 2803
Applicant / Owner	Mohammed TEFAILI
	0452 338 258
Appn Prepared By	DA Busters – Development Assistance Services Ph: 0466 722 869 ©Nov 2023
LGA	Hilltops Council (former Young Shire Council area)



View from Wirrimah Rd onto land

assisted by:



© Nov 2023

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SECTION 1

DESCRIPTION OF DEVELOPMENT

DEVELOPMENT DESCRIPTION AND SPECIFICATIONS

This DA/CC Package is for a New Farm Shed on the subject allotment. Predominantly the Shed will be to store the Owner's tractor, tools and equipment for the large rural block so it can be kept and small scale agriculture continued. The Owner lives in Sydney and visits occasionally so the shed will also be where he can have his family sheltered for the day or weekend whilst he works on the land. They will bring a caravan or camp on these visits.

The shed is to be 12m x 8m x 3.77m (2.7m eaves), gable ended shed formation (enclosed on all sides, single large roller door, PA doors and windows) for use ancillary to the zoning and the farm pursuits on the site, as well as to house machinery, hay farm implements and equipment to keep and maintain this farm presently.

The sheds **will have colorbond "surfmist light grey" walling with a "monument" roof**, be of steel framed construction and have a concrete floor. The shed is ideally sized for a tractor, farm equipment, feed and other fencing or soil improvement materials & equipment.

The area of the site is levelled presently as it is on a saddle on the land. The site is 40m from the power easement through the land to the rear, and the rear of the land which is used for sour plum growing. This land and the rear boundary is adjacent other rural lands with various farming enterprises all occurring locally in this region. Upon the site is some fencing and a stock yard only. The shed will be as detailed on the site plans, accessible from the Wirrimah Rd via a subdivision approved sealed accessway and gate.

The building is proposed to be a comfortable and therefore compliant distance from each boundary. Stormwaters collected will be discharged to a dispersal drain away from the building.

Whilst no separate occupation or residential use is proposed, a Mud Room is set out on the design with a septic tank. This is in order that occasional weekend site visits can be met with good sanitation and clean up in conjunction with their visits, and visits to the site will see no occupation longer than that permissible with a caravan under the LGA Regs.

SECTION 2

COUNCIL TEMPLATE S.E.E, (Completed for project)

A. DESCRIPTION OF DEVELOPMENT: Provide details of your development		
Property address	LOT 7 DP 1145771, 541 WIRRIMAH RD, WIRRIMAH 2803	
Proposed structures (e.g. garage, carport, shed, water tank, pergola, etc)	FARM SHED	
Nature of use (e.g. storage, parking, etc)	FARM BUILDING (STORAGE TRACTOR, SLASHER, FARM EQUIPT.	
Particulars	Shown on plans	Description (provide written details if not clearly shown on plan)
Building materials (e.g. brick, hardiplank, colorbond, zincalume, etc)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	STEEL FRAME, COLORBOND CLAD, CONCRETE FLOOR
Colours	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	WALLS - SURFMIST ROOF - MONUMENT
Demolition	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
Earthworks (location, extent and depth of all cut and fill proposed)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	MINOR, MAX 300 - 500mm CUT/FILL ALL CUT/FILL TO BE BATTERED & REVEGETATED
Tree removal (identify location, size and species of tree/s)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	NO TREE REMOVAL ANTICIPATED
Wall and roof height or height of structure	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Wall height <u>2.7m</u> <input type="checkbox"/> Roof height <u>3.77m</u> <input type="checkbox"/> Other height _____ (if not a building)
Gross floor area (m ²) or capacity (l)	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> gross floor area <u>96 sq.m ENCL</u> (for buildings) <input type="checkbox"/> capacity _____ (swimming pool, water tank)
Open space (m ²)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	LARGE ALLOTMENT - 5.2 ha
Landscaping (type and location)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	NOT AT THIS TIME
Setbacks from each boundary	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> North: <u>250m front</u> <input type="checkbox"/> South: <u>194m rear</u> <input type="checkbox"/> East: <u>75m side</u> <input type="checkbox"/> West: <u>25m side</u>

B. SITE & LOCALITY DESCRIPTION: Provide details of the site and adjacent lands

Please ensure the following details have been shown on your site plan, as a minimum:

- | | | | |
|---|---|--------------------------------------|--------------------------------|
| <input type="checkbox"/> site dimensions | <input type="checkbox"/> site area | <input type="checkbox"/> north point | <input type="checkbox"/> scale |
| <input type="checkbox"/> existing buildings | <input type="checkbox"/> proposed buildings | <input type="checkbox"/> easements | <input type="checkbox"/> trees |

<u>Issue</u>	<u>Details</u>
Present use of the site	Rural small ag - agistment
Past use/s of the site	Rural small ag - agistment
Describe any existing dwellings or built structures on the land (e.g location, number, storeys, building material, etc)	No buildings on site at present.
Describe the key physical features of the site (e.g shape, slope, significant trees or vegetation, dams, waterways, drainage lines, etc)	Level saddle on site at shed placement Owner farming rear of block Electrical Lines 40m from Shed site
Is the land classified as bushfire prone ? (You can check this with Council or a recent 149 Certificate. In some cases a Bushfire Risk Assessment Report may be required)	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Locality characteristics Describe the type and nature of adjacent land uses, e.g. <ul style="list-style-type: none">▪ residential, commercial, industrial;▪ older or more modern construction;▪ single or two storey;▪ building materials;▪ single dwelling houses or unit developments,▪ etc.	Newer subdivision, 5 - 7ha rural lots in Wirrimah farming and horticultural area. Land around has mixed housing styles and small scale agriculture/horticulture

C. COMPLIANCE WITH PLANNING CONTROLS

Young Local Environmental Plan 2010 – Complete the following table to show how your development complies with the relevant provisions of the LEP. If your development is not consistent with the requirements, you need to provide justification for all variations, or may need to seek a formal variation. A copy of the LEP and the associated maps (zoning, lot size, heritage, biodiversity, land and water) can be found at <http://www.legislation.nsw.gov.au/maintop/view/inforce/epi+404+2010+cd+0+N>.

<u>Clause</u>	<u>Issue</u>	<u>Complies</u>	<u>Comment</u>
2.1 – Land use zones	What is the zoning of the land?		Zoning: RU1 Primary Production
2.3 – Zone objectives and land use table	Is a dwelling house permissible in the zone ?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Yes and will be applied for in time - Lot created prior LEP for the purpose
4.6 – Exceptions to development standards	Are you seeking a variation to a development standard in the LEP ?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, because your proposal varies from any standard in the LEP (such as minimum lot size), you must include a separate written statement, justifying the non-compliance. If yes, statement attached - <input type="checkbox"/> Yes <input type="checkbox"/> No
5.10 – Heritage conservation	Is any part of your property an item of heritage or within a heritage conservation area ?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If so, you must include a written statement and/or Heritage Impact Statement, detailing the potential impact on the item or HCA, and how the impact will be minimised. If yes, statement attached - <input type="checkbox"/> Yes <input type="checkbox"/> No
6.1 – Erection of dwelling houses (Applies to the RU1, RU4, RU5, R5 & E3 zones only)	Is the land the necessary minimum lot size to permit a dwelling ?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	Min lot size = 24ha - Actual land size >5.209ha yet per 4.2A(3)(b) Dwelling allowed when proposed
6.3 – Land	Is the land identified as a “sensitive land area” ? The land maps are at: http://www.legislation.nsw.gov.au/mapindex?type=epi&year=2010&no=404 .	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, how will any adverse environmental impacts be minimised and managed ? Not LEP Mapped for this environmental affectation
6.4 – Water	Is the land identified as a “riparian corridor” or “groundwater vulnerability” ? The water maps are at: http://www.legislation.nsw.gov.au/mapindex?type=epi&year=2010&no=404 .	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, how will any adverse environmental impacts be minimised and managed ? Not LEP Mapped for this environmental affectation

6.5 – Biodiversity	Is the land identified as an “area of high biodiversity” ? The biodiversity maps are at: http://www.legislation.nsw.gov.au/mapindex?type=epi&year=2010&no=404 .	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If yes, how will any adverse environmental impacts be minimised and managed ? Mostly to front of site Not at site of shed
6.6 – Flood planning	Is the land subject to flood related development controls ? You can check this with Council or a recent 149 Certificate. In some cases a Flood Risk Report may be required.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, your proposal shall show that it is compatible with the flood hazard and will not increase risk to the environment, building or life. Not LEP Mapped for this environmental affectation
Young Development Control Plan – Complete the following table to show how your development complies with the relevant provisions of the DCP. If your development is not consistent with the requirements, you need to provide justification for all variations. A copy of the DCP can be found at www.young.nsw.gov.au .			
<u>Performance outcome</u>	<u>Control</u>	<u>Complies</u>	<u>Comment</u> If your proposal does not meet the stated control (Column 2), you must provide details on how the proposal satisfies the performance outcome (Column 1).
PAD1 Development shall be sited to minimise visual impact on how it addresses the streetscape	AAD1.1 Development shall be setback 6 m from the primary frontage and 3 m from any secondary frontage	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Generous setbacks
	AAD1.3 Materials used shall minimise glare	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Mid & Dark colorbonds
PAD2 Development shall be sited to ensure practical serviceability	AAD1.2 Development shall be no closer to the side and rear than 900 mm	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	BCA Compliant
PR6 Residential development is designed to reflect vehicle and occupant safety principles	AR6 Dwelling design must comply with one of the deemed to satisfy provisions on section 2.1.5 of the DCP, in order to restrict access to parking areas which are attached or adjacent to dwellings	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Not applicable - not adjoining residential at this time

D. ASSESSMENT OF THE LIKELY IMPACTS OF THE DEVELOPMENT

Construction – How will construction noise, rubbish removal and sedimentation and erosion controls be managed during construction ?

Comments

Rubbish contained during build - minimal anyway with shed build.
Noise & amenity - build Mon - Fri 7am to 6pm max, Sat 8am - 4pm, no SUN
or P/H - Paddock well grassed yet if cut uncontrolled, focused sed fence or hay
bales to be installed

Context and setting – Will the development be ...

- | | | | |
|---------------------------------------|---|--|---|
| ▪ visually prominent in the area ? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | ▪ out of character with the area ? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| ▪ inconsistent with the streetscape ? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | ▪ inconsistent with adjacent land uses ? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

Comments

Consistent with sheds in this subdiv due to larger lots
Generous setbacks shown, colorbond colors, consistent with uses in subdiv to
maintain the land when live remote

Privacy - Will the development result in any ...

- | | |
|--|---|
| ▪ privacy issues between adjoining properties, as a result of the placement of windows, decks, pergolas, private open space ? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| ▪ acoustic issues between adjoining properties as a result of the placement of outdoor areas, vehicle movements, air conditioners, pumps, windows, etc ? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

Comments – If yes, identify any measures proposed to mitigate any of the above impacts
(e.g fencing, screening, vegetation, etc)

Generous setbacks, no motors or loud equipment proposed.

Overshadowing

- | | |
|---|--|
| ▪ Will the development result in the overshadowing of adjoining properties, resulting in an adverse impact on solar access. | <input type="checkbox"/> Yes <input type="checkbox"/> No |
|---|--|

Comments

Not adjacent boundaries and set well back to not interfere with neighbouring amenity

Views

- | | |
|--|--|
| ▪ Will the development result in the loss of views enjoyed from neighbouring properties or public spaces ? | <input type="checkbox"/> Yes <input type="checkbox"/> No |
|--|--|

Comments

Not adjacent boundaries and set well back to not interfere with neighbouring amenity

SECTION 3

PLANS OF DEVELOPMENT STRUCTURAL ENGINEERS DRAWINGS

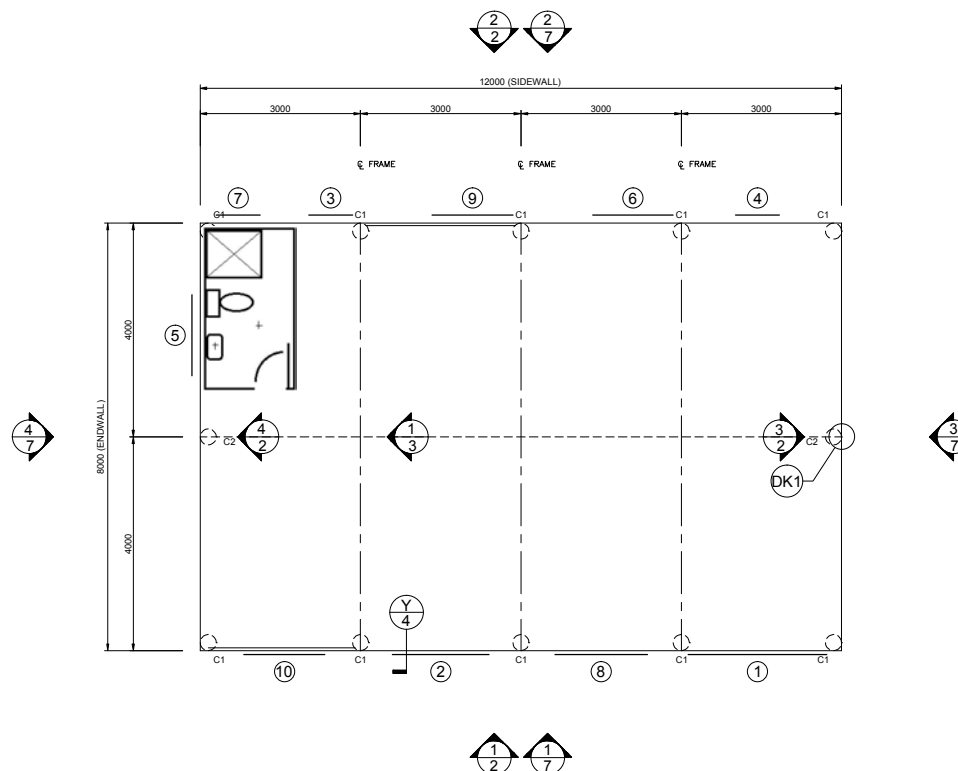
Lot 7, DP 1145771
Wirrimah Rd, Wirrimah NSW 2803



Mr Mohammed Tefaili
mobile: 0452 338 258
E-mail: moh.tef@hotmai.com

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IF IN DOUBT, ASK.



FOUNDATION PLAN AND MEMBER LAYOUT
SCALE: 1 = 100

Roof has been designed for Light Weight Ceilings & Roofs Loading. Allowing for an Additional Roof Loading of 13.00kg/m².
Builder to Confirm Additional Roof Loading Selected is Acceptable for the Design.

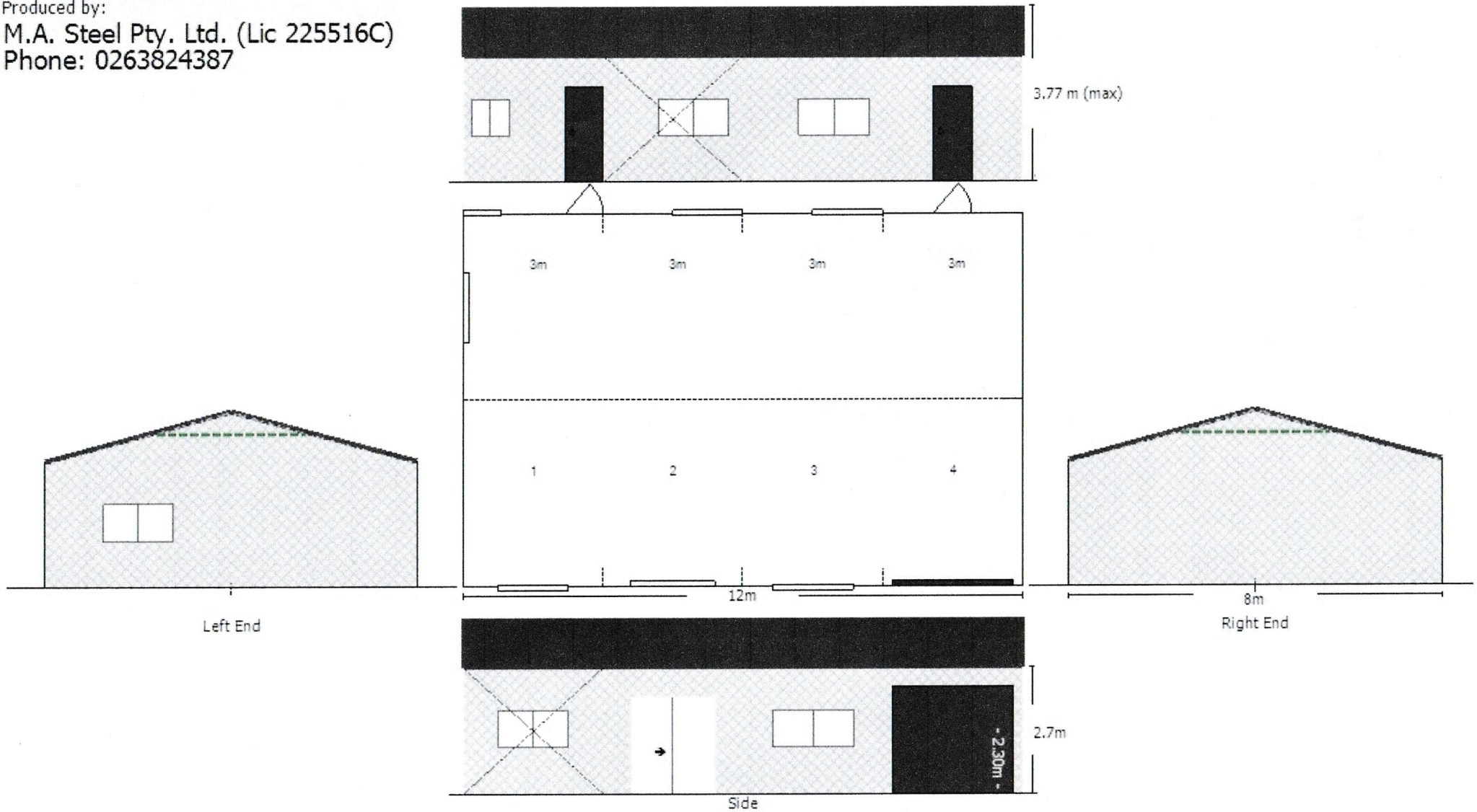
MEMBER LEGEND

C1	C15024
C2	C15019

1 OF 8 SHEET	JOB NO. MAST36848 NCC 2022	DATE 11/10/2023	CHECKED TM	DRAWN FDS	STEEL BUILDING BY M.A. STEEL PTY. LTD. (LIC 225516C) (CONTACT) 02 6382 4387 MOHAMMED TEFAILI 541 WIRRIMAH ROAD WIRRIMAH		 Civil & Structural Engineers 50 Punari Street Curralong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Professional Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Mr Timothy Roy Messer BE MIEAust RPEQ Signature Date 11/10/2023 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register
	1 NCC 2022	11/10/2023	TM	FDS	FOR AT	02 6382 4387 MOHAMMED TEFAILI 541 WIRRIMAH ROAD WIRRIMAH		 Civil & Structural Engineers 50 Punari Street Curralong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Professional Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS

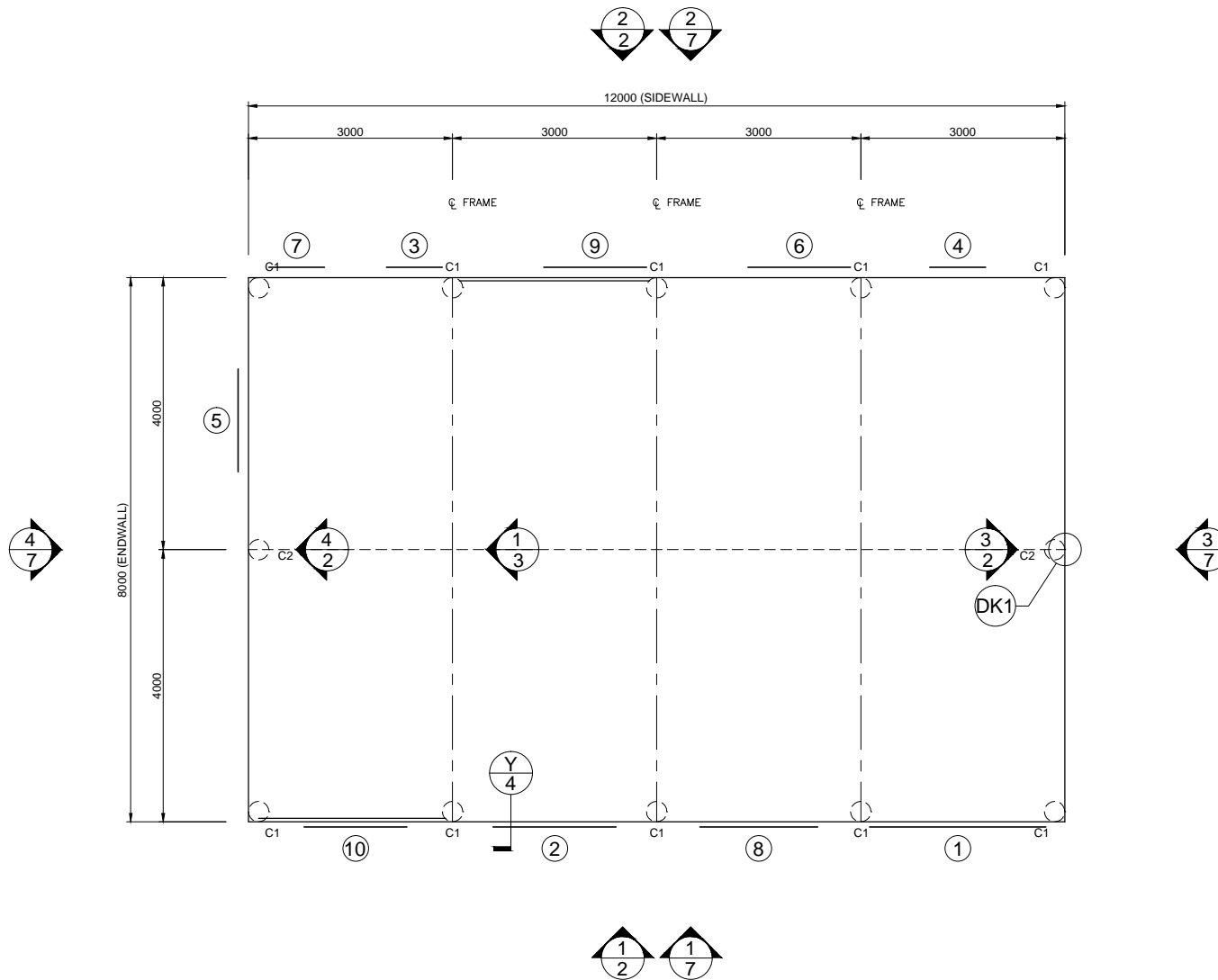
DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

Building For:
Mohammed Tefaili
541 Wirrimah Road WIRRIMAH
Job Number: 36848
Produced by:
M.A. Steel Pty. Ltd. (Lic 225516C)
Phone: 0263824387



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FOUNDATION PLAN AND MEMBER LAYOUT
SCALE: 1 = 100

Roof has been designed for Light Weight Ceilings & Roofs Loading. Allowing for an Additional Roof Loading of 13.00kg/m² .
Builder to Confirm Additional Roof Loading Selected is Acceptable for the Design.

MEMBER LEGEND

C1	C15024
C2	C15019

1 OF 8

SHEET



JOB NO.
MAST36848


DATE
11/10/2023

CHECKED
TM

DRAWN
FDS

STEEL BUILDING BY
M.A. STEEL PTY. LTD. (LIC 225516C)
(CONTACT)
02 6382 4387
MOHAMMED TEFAILI
541 WIRRIMAH ROAD
WIRRIMAH






Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56

Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

Regn. No. 2558980
Regn. No. 9985
Regn. No. 116373ES
Regn. No. PE0002216
Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ

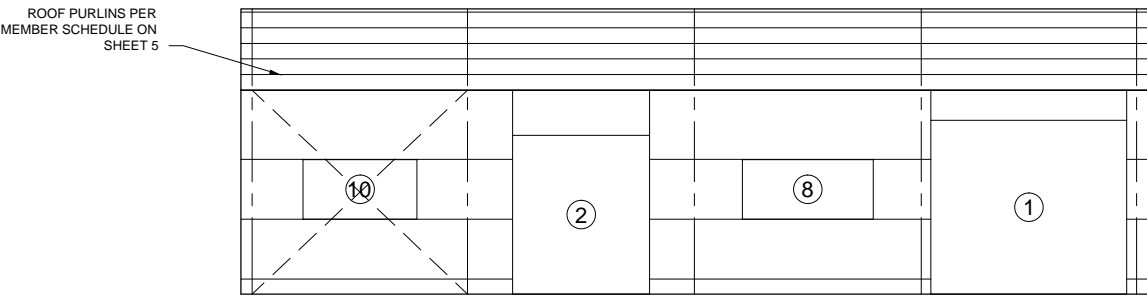
Signature 

Date11/10/2023.....

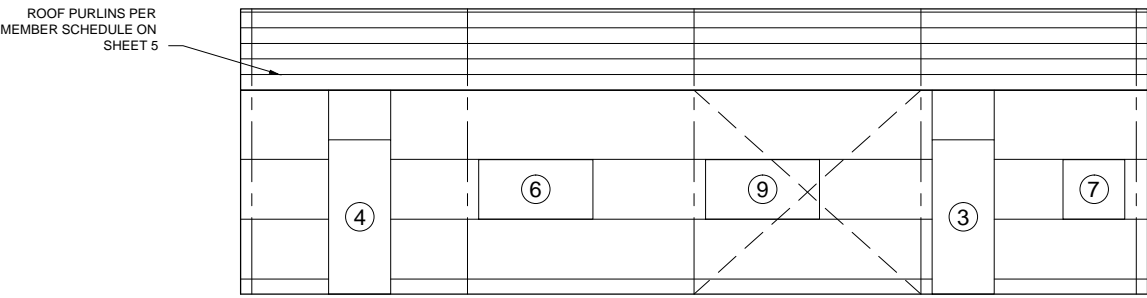
Registered on the NPER in the areas of practice
of Civil & Structural National Professional
Engineers Register

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

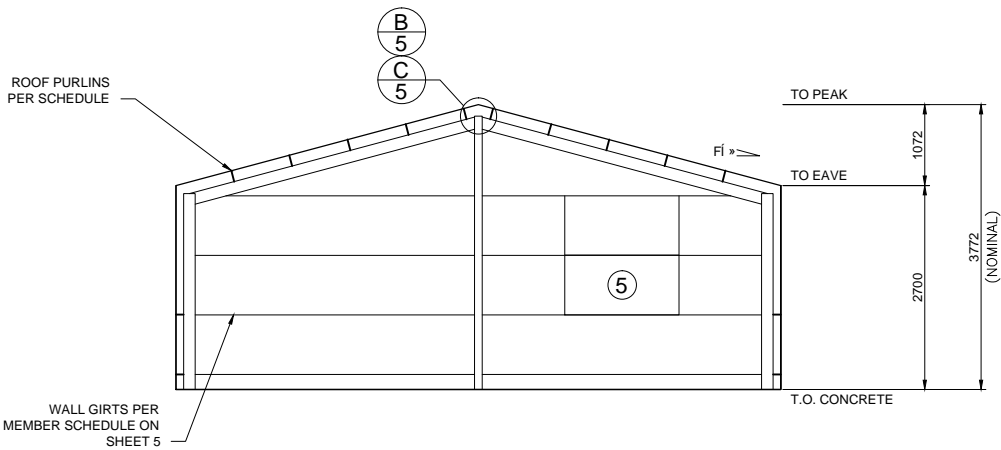
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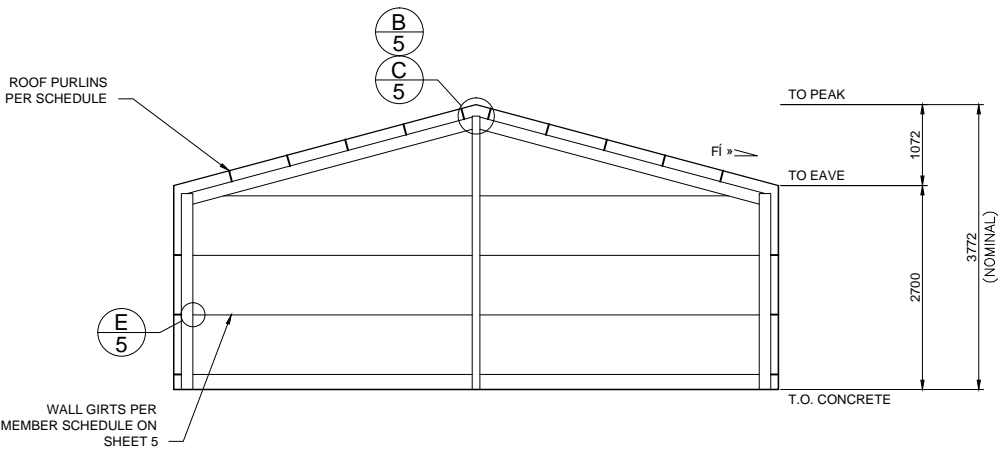
1 SIDEWALL EXTERIOR ELEVATION
2 SCALE: 1 = 100



2 SIDEWALL EXTERIOR ELEVATION
2 SCALE: 1 = 100



4 ENDWALL INTERIOR ELEVATION
2 SCALE: 1 = 100

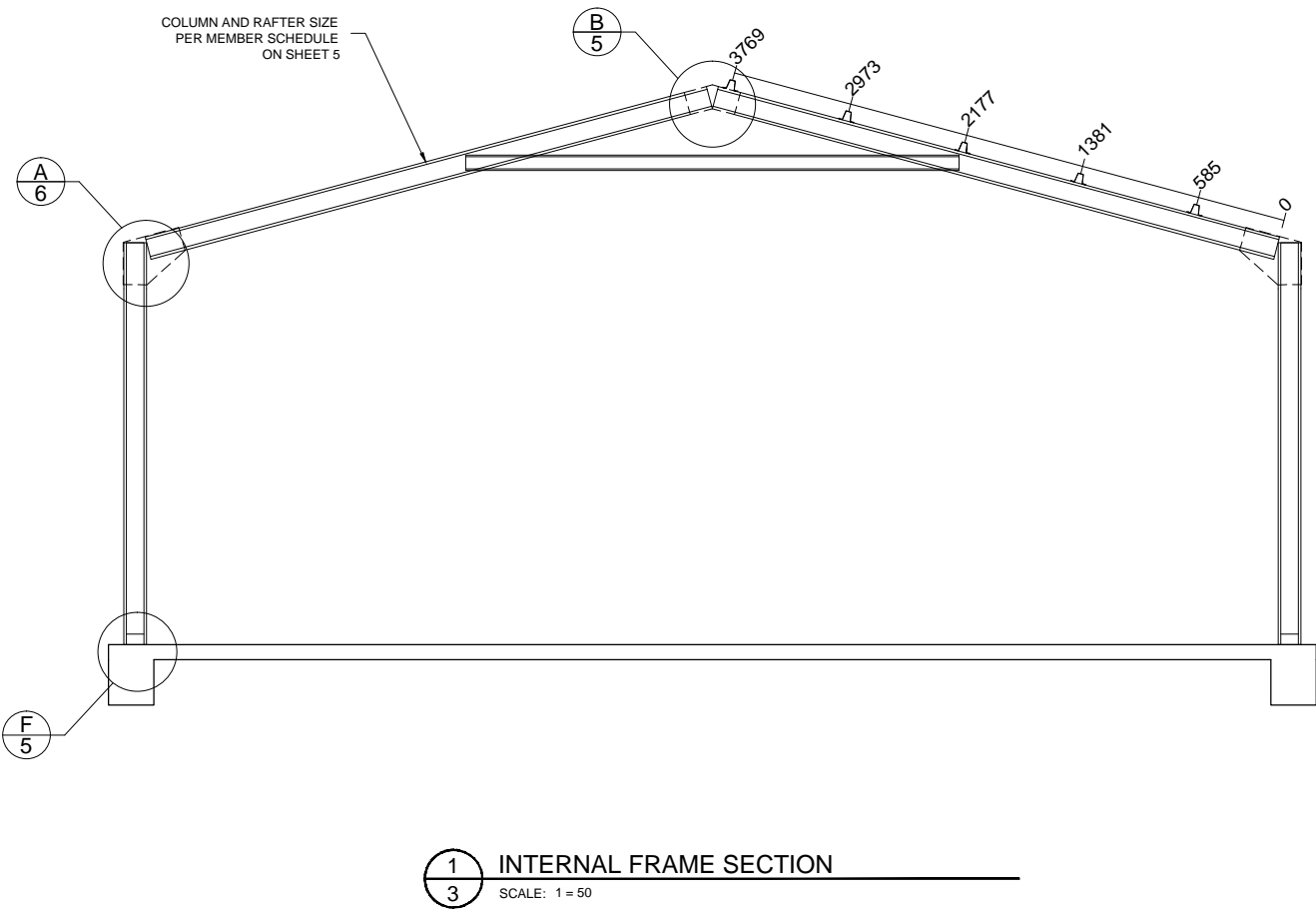


3 ENDWALL INTERIOR ELEVATION
2 SCALE: 1 = 100





X BRACING IS REQUIRED IN 2 SIDE BAYS.
SEE LAYOUT OR PLANS FOR PLACEMENT.

2 OF 8	SHEET	JOB NO. MAST36848	DATE 11/10/2023	CHECKED TM	DRAWN FDS	STEEL BUILDING BY M.A. STEEL PTY. LTD. (LIC 225516C) (CONTACT) 02 6382 4387 MOHAMMED TEFAILI 541 WIRIMAH ROAD WIRIMAH			 Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. PE0002216 Regn. No. CC5648M	Mr Timothy Roy Messer BE MIEAust RPEQ Signature Date 11/10/2023 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register
		NCC MAST36848 2022									

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Refer to Sheet #4 for concrete specification.

3 OF 8	SHEET	JOB NO. MAST36848	DATE 11/10/2023	CHECKED TM	DRAWN FDS	STEEL BUILDING BY M.A. STEEL PTY. LTD. (LIC 225516C) (CONTACT) 02 6382 4387 MOHAMMED TEFAILI 541 WIRRIMAH ROAD WIRRIMAH			 Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ	
		NCC 2022				Signature 					
										Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. PE0002216 Regn. No. CC5648M	Date11/10/2023..... Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register

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STRUCTURAL GENERAL NOTES

1.

GOVERNING CODE : NATIONAL CONSTRUCTION CODE (NCC), LOADING TO AS1170 - ALL SECTIONS. BUILDING SUITABLE AS EITHER A PRIVATE GARAGE CLASS 10a, OR A FARM SHED (CLASS 7 OR 8), UNLESS OTHERWISE SPECIFICALLY NOTED. FOR USE AS A FARM SHED, IT MUST MEET THE FOLLOWING REQUIREMENTS:

 - BE LESS THAN 2000 SQM IN AREA (INCLUSIVE OF ANY MEZZANINE FLOOR AREA).
 - MUST BE LOCATED ON A FARM AND USED IN CONNECTION WITH FARMING PURPOSES.
 - BUILDING IS NOT TO BE OCCUPIED FREQUENTLY NOR FOR EXTENDED PERIODS BY PEOPLE, WITH A MAXIMUM OF 1 PERSON PER 200 SQM OR 2 PERSONS MAXIMUM IN TOTAL WHICHEVER IS THE LESSER.
2.

DRAWING OWNERSHIP : THESE DRAWINGS REMAIN THE PROPERTY OF FBHS (AUST) PTY LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF FBHS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM FBHS.
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4.

CONTRACTOR RESPONSIBILITIES : CERTIFIER AND CONTRACTOR TO CONFIRM [ON SITE] THAT THE WIND LOADINGS APPLIED TO THIS DESIGN ARE TRUE AND CORRECT FOR THE ADDRESS STATED IN THE TITLE BLOCK. CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE THE UNDERSIGNING ENGINEERS. THE ENGINEER / FBHS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE INDICATED DRAWING SCALES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. FOR FURTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE INSTRUCTION MANUAL.
5.

ENGINEERING : THE ENGINEER / FBHS ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT DURING CONSTRUCTION. THE UNDERSIGNING ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN PORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT. THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY FBHS. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY FBHS WITH OTHER PLANS AND/OR OTHER COMPONENTS THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCIES, THE LATEST DRAWINGS PROVIDED BY FBHS SHALL GOVERN. NO ALTERATIONS TO THIS STRUCTURE (INCLUDING REMOVAL OF CLADDING) ARE TO BE UNDERTAKEN WITHOUT THE CONSENT OF THE CERTIFYING ENGINEER. OPENINGS SUCH AS WINDOWS AND DOORS NEED TO BE INSTALLED AS PER THE PRODUCT MANUFACTURER'S INFORMATION/DETAILS. THE BUILDING IS DESIGNED AS A STAND-ALONE BUILDING, NOT RELYING ON ANY ADJACENT BUILDING. IF THE PERMANENT OPENING IS OBSTRUCTED BY ANY ADJACENT BUILDING AND WITHIN A DISTANCE OF 0.5M OF SAID OPENING, THE DESIGN SHOULD BE REFERRED TO THE DESIGN ENGINEER FOR REVIEW OF INTERNAL PRESSURES AND POSSIBLE REDESIGN.
6.

INSPECTIONS : NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
7.

SOIL REQUIREMENTS : SITE CLASSIFICATION TO BE A, S OR M ONLY. SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION. REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT, IN THIS CASE SEEK FURTHER ENGINEERING ADVICE.
8.

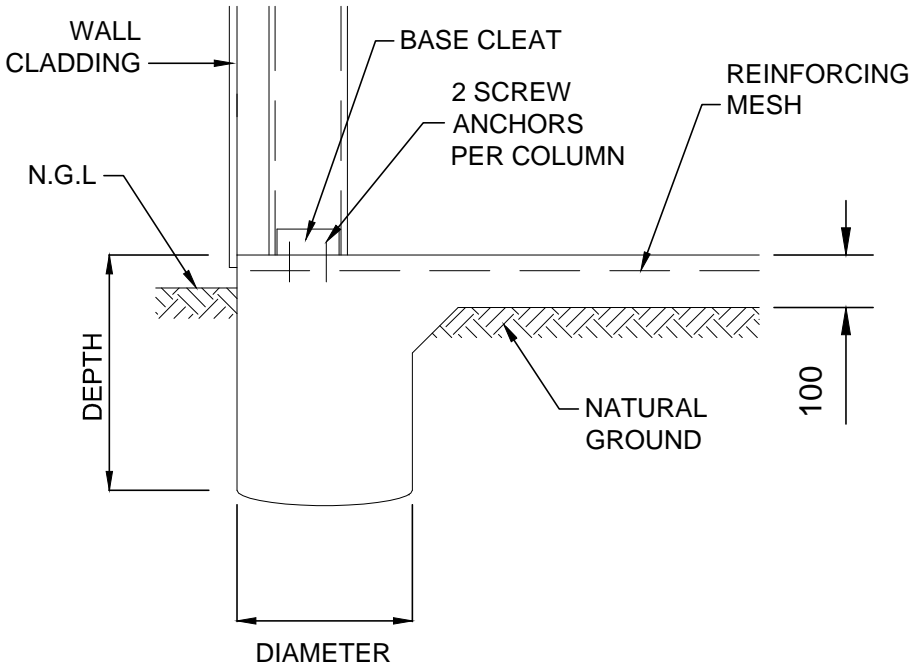
CLASS 10a or Class 7 FOOTING DESIGNS : THE FOUNDATION DOCUMENTED IS ALSO APPROPRIATE FOR CLASS 10a or CLASS 7 BUILDING DESIGNS ON 'M-D', 'H', 'H-D' OR 'E' CLASS SOILS, IF TOTAL SLAB AREA IS UNDER 100m SQUARE AND THE MAXIMUM SLAB DIMENSION (LENGTH AND WIDTH) IS LESS THAN OR EQUAL TO 12m. PLEASE BE AWARE THAT THE SLAB DESIGN FOR H & E CLASS SOILS IN THESE INSTANCES ARE DESIGNED TO EXPERIENCE SOME CRACKING. THIS CRACKING IS NOT CONSIDERED A STRUCTURAL FLAW OR DESIGN ISSUE, AND IS SIMPLY COSMETIC IN NATURE. IF THIS IS A CONCERN TO THE CLIENT IT IS ADVISED THEY DISCUSS OTHER OPTIONS WITH THE RELEVANT DISTRIBUTOR PRIOR TO THE POURING OF THE SLAB.
9.

CONCRETE REQUIREMENTS : ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH AS2870 AND AS3600. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1 & B1, 25MPa FOR EXPOSURE A2 & B2 AND 32MPa FOR EXPOSURE C, IN ACCORDANCE WITH SECTION 4, AS3600. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLUMP TO BE 80mm +/-15mm. SLABS TO BE CURED FOR 7 DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN, DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES 1 LAYER OF SL7/2 REINFORCING MESH IS TO BE INSTALLED ON STANDARD SLABS WITH A MINIMUM 30MM COVER FROM CONCRETE SURFACE. CONCRETE REINFORCING TO CONFORM TO AS 1302, AS1303 & AS 1304. ALL REINFORCING COVER TO BE A MINIMUM OF 30mm.
10.

STRUCTURAL STEEL REQUIREMENTS : ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE <= 1mm fy = 550MPa, GAUGE > 1mm < 1.5mm fy = 500MPa, GAUGE >= 1.5mm fy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO AS4600. ALL BOLT HOLE DIAMETERS TO STRAMIT GENERAL PUNCHINGS.
11.

FOOT TRAFFIC : FOR ERECTION AND MAINTENANCE PLEASE NOTE THE FOLLOWING DEFINED FOOT TRAFFIC ZONES:

 - CORRUGATED: WALK ONLY WITHIN 200MM OF SCREW LINES. FEET SPREAD OVER AT LEAST TWO RIBS.
 - MONOCLAD: WALK ONLY IN PANS, OR ON RIBS AT SCREW LINES.



300 x 400

Diameter x Depth (mm)

N.G.L - NATURAL GROUND LINE

Y	BORED LOCAL THICKENING DETAIL	DWG NO. SBOMA
---	-------------------------------	---------------

PROJECT DESIGN CRITERIA

ROOF LIVE LOAD: 0.25 kPa
BASIC WIND SPEED: VR 45 m/s
SITE WIND SPEED: VsitB 41 m/s
WIND REGION: Reg A0
TOPOGRAPHY FACTOR, Mt: 1
SHIELDING FACTOR, Ms: 1
MAX GROUND SNOW LOAD: N/A
MAX ROOF SNOW LOAD: N/A
SITE ALTITUDE: N/A
TERRAIN CATEGORY: TCat 2
SOIL SAFE BEARING CAPACITY: 100 kPa
RETURN PERIOD: 1:500
LIMITING CPI 1: -0.65
LIMITING CPI 2: 0.62
IMPORTANCE LEVEL: 2

DETAIL KEYS

- DK1

ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)
- DK2

FLYBRACING PER DETAIL L/5
- DK3

X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)
- DK4

DOUBLE X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

SCHEDULE OF OPENINGS

DOOR	OPENING WIDTH	SIZE MAX HEIGHT	OPENING TYPE	HEADER GIRT	OPENING JAMBS	WIND RATED
1	2590	2300*	2.50H X 2.65 CB 'SERIES A #	SINGLE	XSRDTS6427	NO
2	1810	2100	2.10H X 1.81 XO STANDARD GLASS SLIDING DOOR	SINGLE	XSRDTS6424	YES
3	820	2040	EXTERNAL PA DOOR 180 DEG	SINGLE		YES
4	820	2040	EXTERNAL PA DOOR 180 DEG	SINGLE		YES
5	1510	790	WINDOW	SINGLE		YES
6	1510	790	WINDOW	SINGLE		YES
7	820	790	WINDOW	SINGLE		YES
8	1730	790	WINDOW	SINGLE		YES
9	1510	790	WINDOW	SINGLE		YES
10	1510	790	WINDOW	SINGLE		YES

NOTES: 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION.
2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.

* ROLLER DOOR OPENING HEIGHT DEPENDENT ON FINAL BUILD LOCATION.

4 OF 8

SHEET	JOB NO. MAST36848	DATE 11/10/2023	CHECKED TM	DRAWN FDS
	NCC 2022			

STEEL BUILDING BY (CONTACT) M.A. STEEL PTY. LTD. (LIC 225516C) 02 6382 4387
FOR MOHAMMED TEFAILI
AT 541 WIRRIMAH ROAD WIRRIMAH



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Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

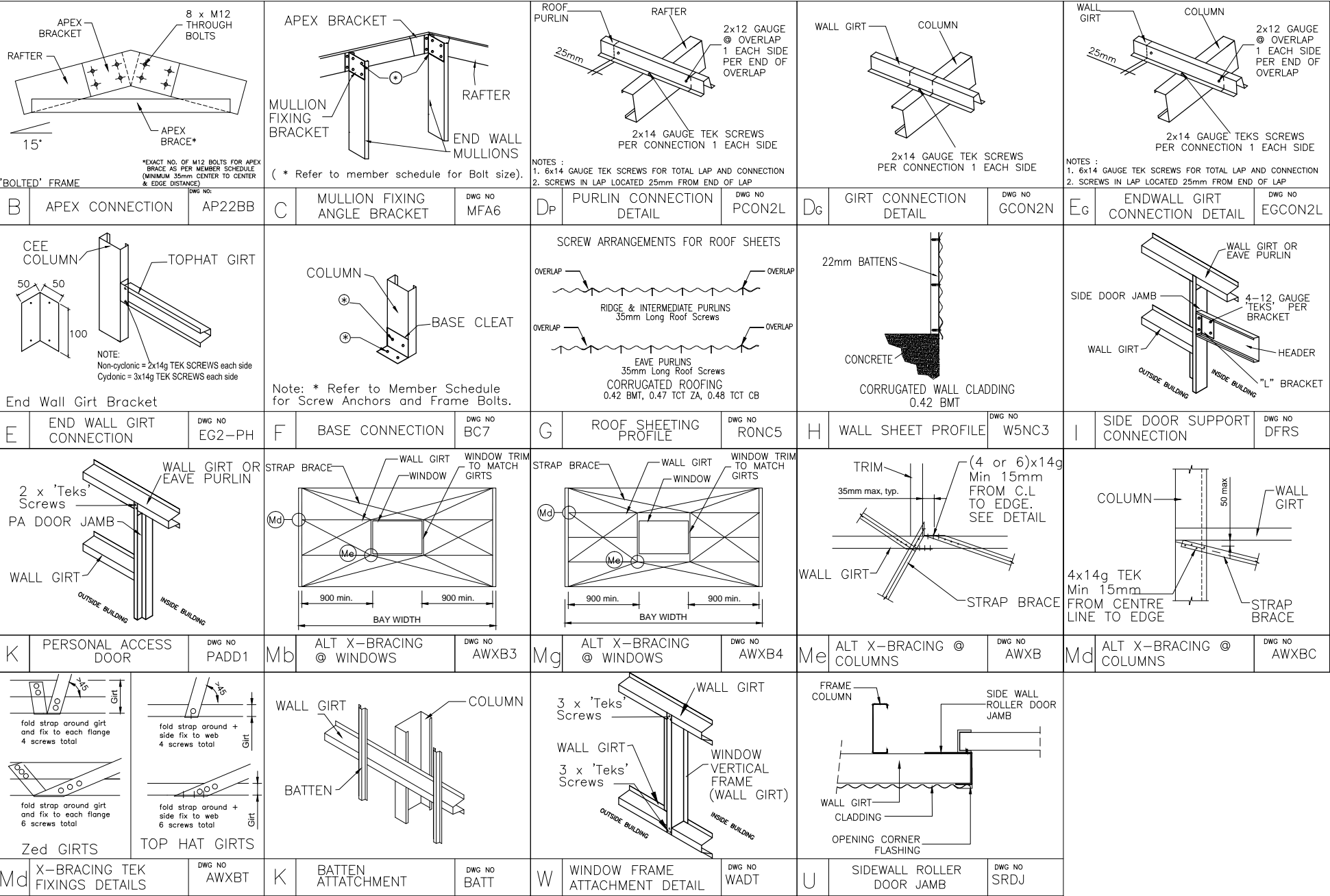
Regn. No. 2558980
Regn. No. 9985
Regn. No. 116373ES
Regn. No. PE0002216
Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ

Signature

Date 11/10/2023
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MEMBER AND MATERIAL SCHEDULE

1	END WALL RAFTER	Single C15024
2	C.S. FRAME RAFTER	Single C15024
3	END FRAME COLUMN (C1)	Single C15024
4	C.S. FRAME COLUMN (C1)	Single C15024
5	MULLION (C2)	Single C15019
6	C.S. FRAME APEX BRACE	Single C10015 @ 3.27 LONG 2 bolts each end
7	APEX POSITION FROM RAFTER END	1.66m
8	ANCHOR BOLTS (# PER DETS.)	Screw Anchor 12mm x 100 Galv
9	EAVE PURLIN	C15012 (Eave Purlin 43mm above top of column)
10	TYP. ROOF PURLIN SIZE	Tophat 64 x 1.0
11	MAIN BLDG. PURLIN SPACING	0.796 m. (5 rows) (Max Allow. 1.000m)
12	MAIN BLDG. PURLIN LENGTH	3.3 m. (0.3m Overlap)
13	TYP. SIDEWALL GIRT SIZE	Tophat 64 x 1.0
14	MAIN BLDG. SIDEWALL GIRT SPACING	0.791 m. (3 rows) (Max Allow. 1.014m)
15	MAIN BLDG. SIDEWALL GIRT LENGTH	3.1 m. (0.1m Overlap)
16	TYP. ENDWALL GIRT SIZE	Tophat 64 x 1.0
17	MAIN BLDG. ENDWALL GIRT SPACING	0.788 m. (4 rows) (Max Allow. 0.800m)
18	MAIN BLDG. ENDWALL GIRT LENGTH	3.95 m. (0.17m Overlap)
19	EXTERNAL WALL BATTEN	TH22 x 0.42 CEILING BATTENS @ 600mm CTS MAX
20	FRAME SCREW FASTENERS	14-13x22 Hex C/S (SP HD 5/16" Hex Drive)
21	FRAME BOLT FASTENERS	Purlin Assy M12x30 Z/P
22	X-BRACING STRAP AND FASTENERS	32 x 1.2mm Strap with 4 x 14g Tek Screws Each End
23	WALL COLOUR	SURFMIST
24	ROOF COLOUR	MONUMENT
25	ROLLER DOOR COLOUR	MONUMENT
26	P.A. DOOR COLOUR	MONUMENT
27	WINDOW COLOUR	MONUMENT
28	GLASS SLIDING DOOR COLOUR	MONUMENT
29	DOWNPIPE COLOUR	SURFMIST
30	GUTTER COLOUR	MONUMENT
31	CORNER FLASHING COLOUR	SURFMIST
32	BARGE FLASHING COLOUR	MONUMENT
33	OPENING FLASHING COLOUR	SURFMIST
34	OPEN BAY HEADER HEIGHT	0.35

"C.S." = CLEARSPAN "L." = LEFT "R." = RIGHT

5 OF 8

SHEET

JOB NO. MAST36848

DATE 11/10/2023

CHECKED TM

DRAWN FDS

STEEL BUILDING BY

(CONTACT)

M.A. STEEL PTY. LTD. (LIC 225516C)

02 6382 4387

MOHAMMED TEFAILI

541 WIRIMAH ROAD

WIRIMAH

FOR

AT

SHED SAFE

ACCREDITED

fairdinkum

SHEDS

NORTHERN CONSULTING

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Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

Regn. No. 2558980
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Regn. No. CC5648M

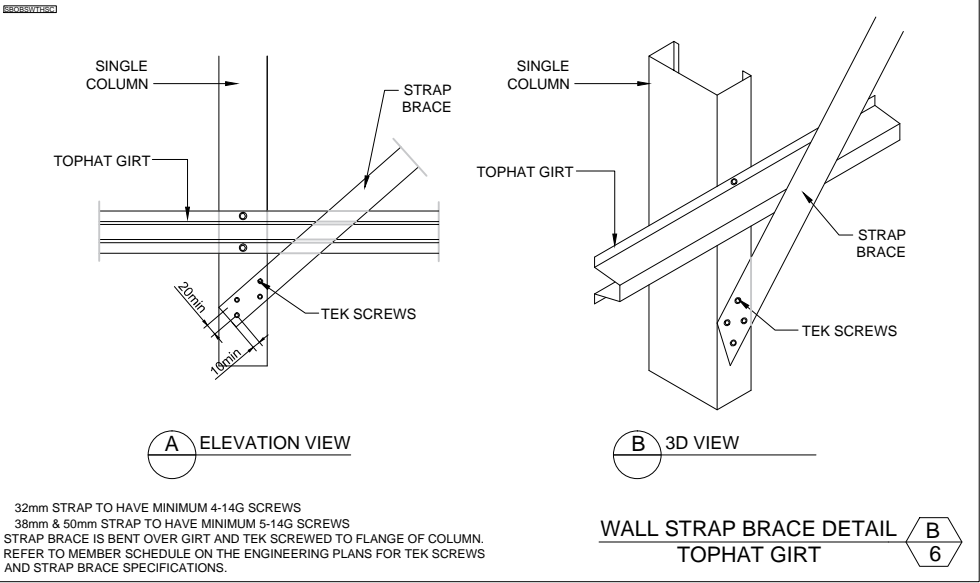
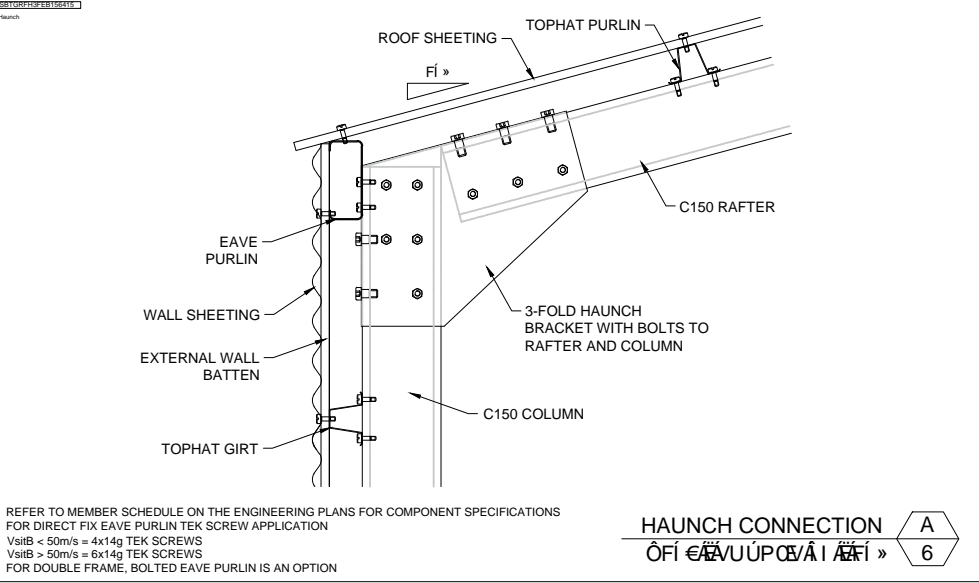
Mr Timothy Roy Messer BE MIEAust RPEQ





Signature

Date 11/10/2023

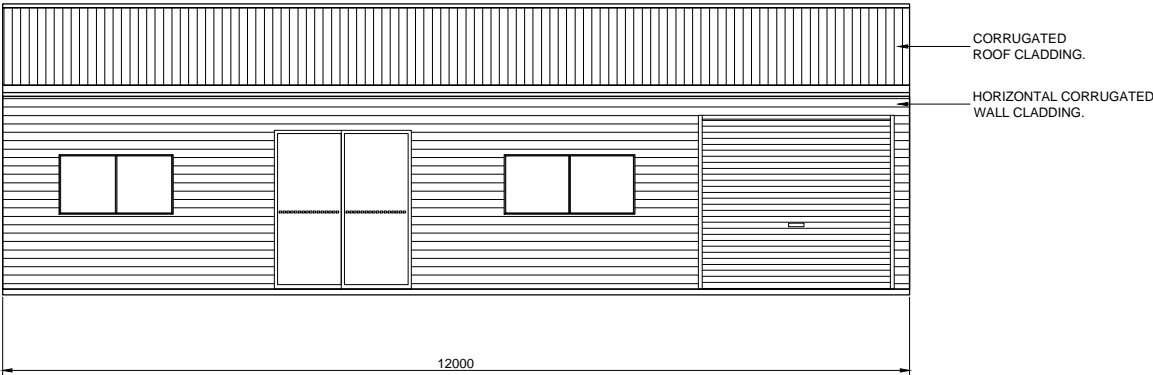
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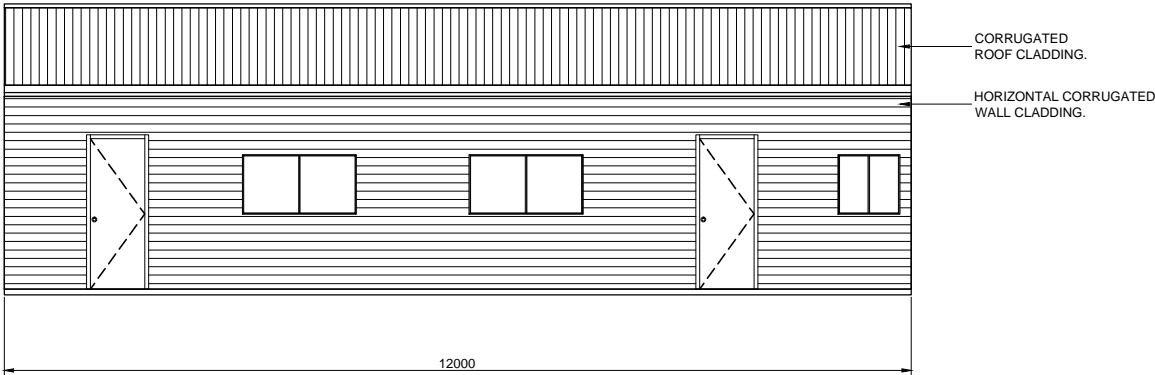


6 OF 8 SHEET	JOB NO. MAST36848	DATE 11/10/2023	CHECKED TM	DRAWN FDS	STEEL BUILDING BY M.A. STEEL PTY. LTD. (LIC 225516C) (CONTACT) 02 6382 4387 MOHAMMED TEFAILI 541 WIRIMAH ROAD WIRIMAH			 <div>Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56</div>	Mr Timothy Roy Messer BE MIEAust RPEQ
	NCC 2022				Signature 				
									Date11/10/2023..... Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register

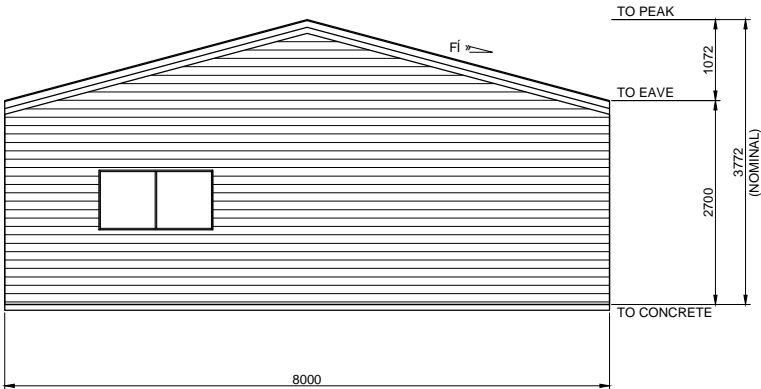
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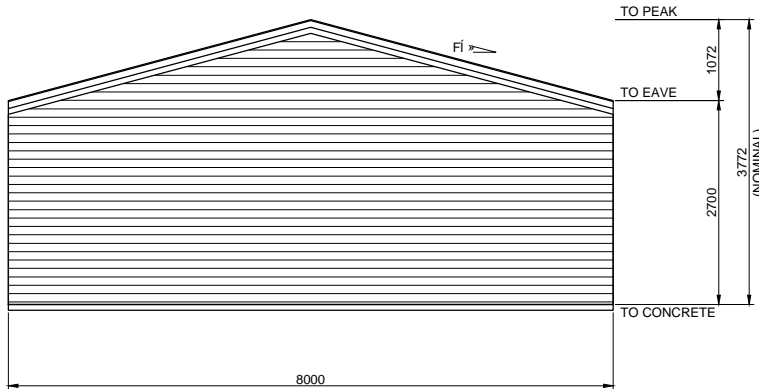
1 SIDEWALL EXTERIOR ELEVATION
7 SCALE: 1 = 100



2 SIDEWALL EXTERIOR ELEVATION
7 SCALE: 1 = 100



4 ENDWALL EXTERIOR ELEVATION
7 SCALE: 1 = 100



3 ENDWALL EXTERIOR ELEVATION
7 SCALE: 1 = 100

BUILDING COLOURS	
WALL	SURFMIST
ROOF	MONUMENT
ROLLER DOOR	MONUMENT
P.A. DOOR	MONUMENT
WINDOW	MONUMENT
GLASS SLIDING DOOR	MONUMENT
DOWNPIPE	SURFMIST
GUTTER	MONUMENT
CORNER FLASHING	SURFMIST
BARGE FLASHING	MONUMENT
OPENING FLASHING	SURFMIST

7
OF
8

SHEET

JOB NO.
MAST36848

DATE
11/10/2023

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TM

DRAWN
FDS

STEEL BUILDING BY
M.A. STEEL PTY. LTD. (LIC 225516C)
(CONTACT)
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MOHAMMED TEFAILI
541 WIRIMAH ROAD
WIRIMAH

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Signature
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NOTES:

BRACING MATERIALS - THE SHED ERECTOR TO SUPPLY SPECIFIC BRACING.
SUITABLE RIGID MEMBERS CAPABLE OF TENSION AND COMPRESSION OR OPPOSING CHAINS OR OPPOSING LOAD RATED RATCHET STRAPS TO BE USED. (RIGID BRACING AS SHOWN ON DIAGRAM) ROPE BRACING SUITABLE ONLY FOR SMALLER STRUCTURES IN IDEAL CONDITIONS.

BRACING LOCATION - TEMPORARY BRACING TO BE ERECTED AS CLOSE TO 45 DEGREE ANGLE AND FIXED TO THE TOP OF THE COLUMN OR MULLION TO ACHIEVE THE OPTIMUM EFFECTIVENESS. IF THERE IS NOT ENOUGH SPACE FOR A 45 DEGREE ANGLE, THEN 20 DEGREE ANGLE IS TO BE THE MINIMUM ANGLE ALLOWED (REFER TO DIAGRAM). RIGID TEMPORARY BRACING MEMBER TO BE BOLTED TO HEAVY ANGLE PEGS HAMMERED INTO THE GROUND OR TO A BRACKET, MASONRY ANCHORED TO THE SLAB.

BRACING REMOVAL - TEMPORARY BRACING TO REMAIN IN PLACE UNTIL CLADDING IS FULLY INSTALLED WHERE POSSIBLE. IN NO CASE SHOULD TEMPORARY BRACING BE REMOVED UNTIL ALL PURLINS, GIRTS (AND PERMANENT CROSS BRACING WHERE USED) ARE FIXED.

SITE SAFETY - DUE CONSIDERATION TO BE GIVEN TO SITE SAFETY IN REGARD TO LOCATIONS OF BRACING AND PEGS.

GUIDE APPLICATION - TEMPORARY BRACING AS DESCRIBED IS A MINIMUM REQUIREMENT FOR AN AVERAGE, STANDARD SITE CONDITION. PROVIDE ADDITIONAL BRACING FOR MORE SEVERE AND/OR HIGH EXPOSURE SITE CONDITIONS. ADDITIONAL BRACING TO BE USED AS AND WHERE NECESSARY TO ENSURE THAT ENTIRE FRAME IS RIGID THROUGHOUT CONSTRUCTION. RESPONSIBILITY FOR ENSURING STABILITY OF STRUCTURE REMAINS WITH THE BUILDER.

TILT UP METHOD
FOR STRUCTURES UNDER 9M SPAN, LESS THAN 3M HIGH AND LESS THAN 12M LONG

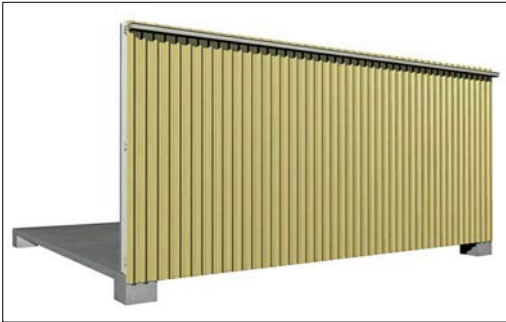
- ASSEMBLE THE FIRST SIDEWALL FRAME (COMPLETE WITH WALL SHEETING, BRACING AND GUTTER) ON THE GROUND AND LIFT ASSEMBLED SIDEWALL FRAME INTO POSITION. FIX OFF TEMPORARY SIDE BRACING TO EACH END (REFER TO DIAGRAM). FIX BASE CLEATS.
- ASSEMBLE THE SECOND SIDEWALL FRAME AS PER FIRST SIDEWALL FRAME. LIFT INTO POSITION. FIX OFF TEMPORARY WALL BRACING TO EACH END (REFER TO DIAGRAM) FIX BASE CLEATS.
- FIX GABLE END RAFTERS TO COLUMNS TO TIE WALLS. PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- INSTALL REMAINING RAFTERS. AS EACH RAFTER PAIR IS INSTALLED, AT LEAST ONE PURLIN PER 3M OF RAFTER LENGTH IS TO BE INSTALLED TO SECURE RAFTERS.
- INSTALL REMAINING PURLINS
- INSTALL KNEE AND APEX BRACES IF AND WHERE APPLICABLE.
- REPEAT FOR LEANTO'S.

FRAME FIRST METHOD
FOR STRUCTURES OVER 9M SPAN, GREATER THAN 3M HIGH AND GREATER THAN 12M LONG

- ASSEMBLE PORTAL FRAMES ON THE GROUND (WITH KNEE AND APEX BRACES IF AND WHERE APPLICABLE). LIFT THE FIRST PORTAL FRAME ASSEMBLY INTO POSITION. FIX OFF TEMPORARY END BRACING (REFER TO DIAGRAM). FIX BASE CLEATS.
- PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- THE SECOND PORTAL FRAME ASSEMBLY TO BE LIFTED INTO POSITION. FIX EAVE PURLINS AND AT LEAST ONE PURLIN PER 3M OF RAFTER TO SECURE FRAME ASSEMBLY. FIX BASE CLEATS. FIX TEMPORARY SIDEWALL BRACING.
- STAND REMAINING PORTAL FRAME ASSEMBLY AS PER STEP C. FIXING TEMPORARY SIDE WALL BRACING TO EVERY SECOND BAY. BRACE OTHER END PORTAL FRAME AS PER FIRST PORTAL FRAME.
- INSTALL REMAINING PURLINS AND GIRTS.
- REPEAT FOR LEANTO'S.

GUIDE TO THE INSTALLATION OF TEMPORARY BRACING

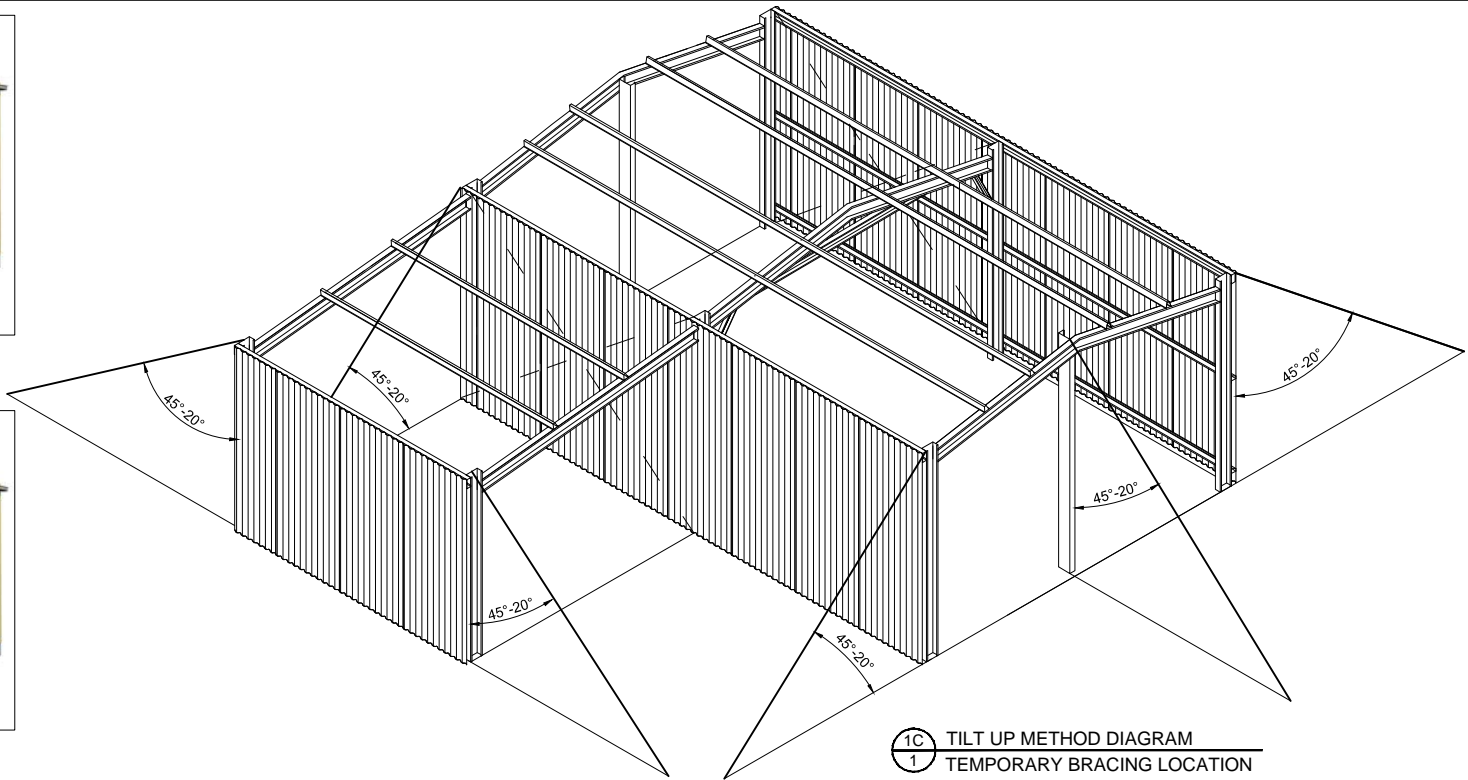
(REFER TO INSTALLATION GUIDE MANUAL FOR THE TWO METHODS OF CONSTRUCTION)



1A FIRST SIDEWALL FRAME
1 REFER 1C FOR TEMPORARY BRACING LOCATION



1B SECOND SIDEWALL FRAME
1 REFER 1C FOR TEMPORARY BRACING LOCATION



1C TILT UP METHOD DIAGRAM
1 TEMPORARY BRACING LOCATION

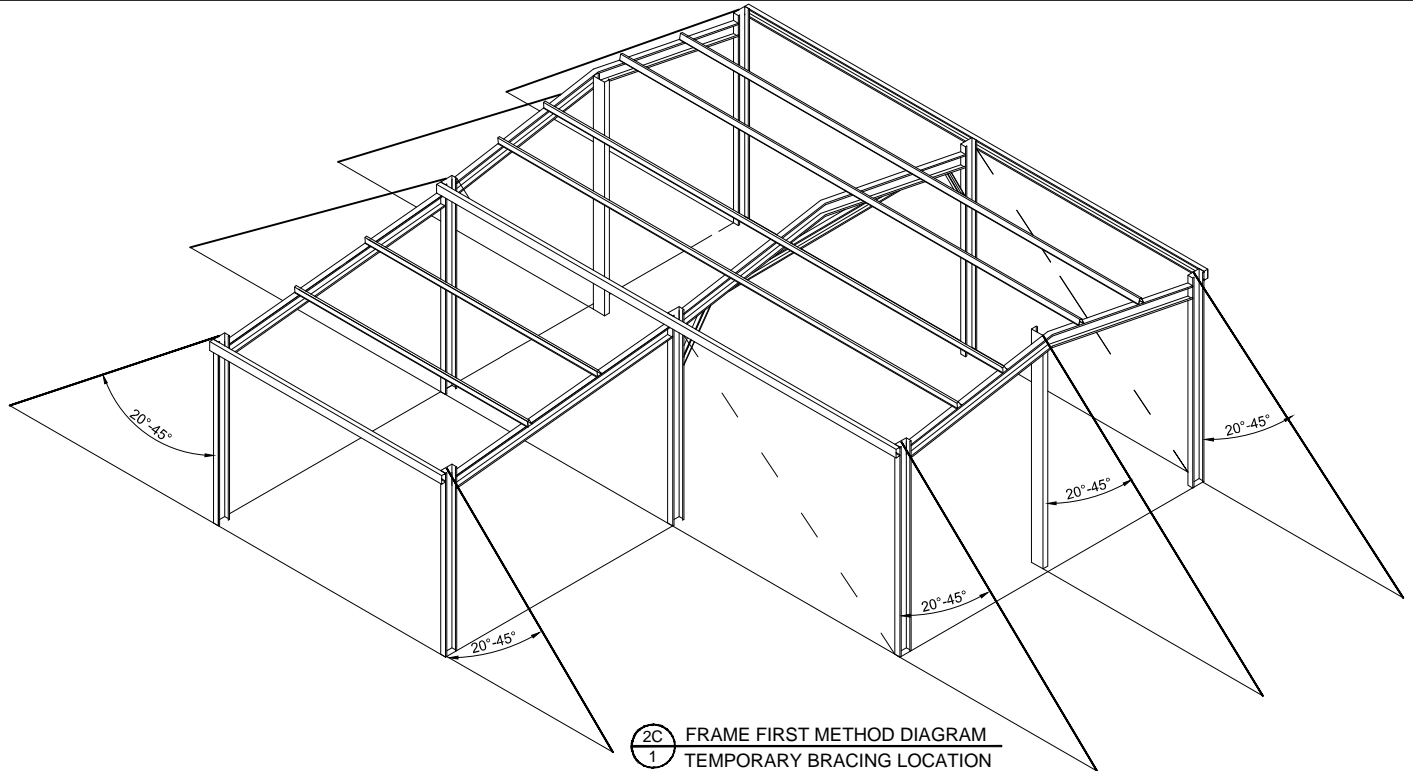
1 TILT UP METHOD DIAGRAM
1 SCALE: NTS



2A FIRST & SECOND PORTAL FRAME ASSEMBLY
1 REFER 2C FOR TEMPORARY BRACING LOCATION



2B COMPLETE PORTAL FRAME ASSEMBLY
1 REFER 2C FOR TEMPORARY BRACING LOCATION



2C FRAME FIRST METHOD DIAGRAM
1 TEMPORARY BRACING LOCATION

2 FRAME FIRST METHOD DIAGRAM
1 SCALE: NTS

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			MAST36848	11/10/2023	TM	FDS	
OF	8	SHEET	NCC				
			2022				

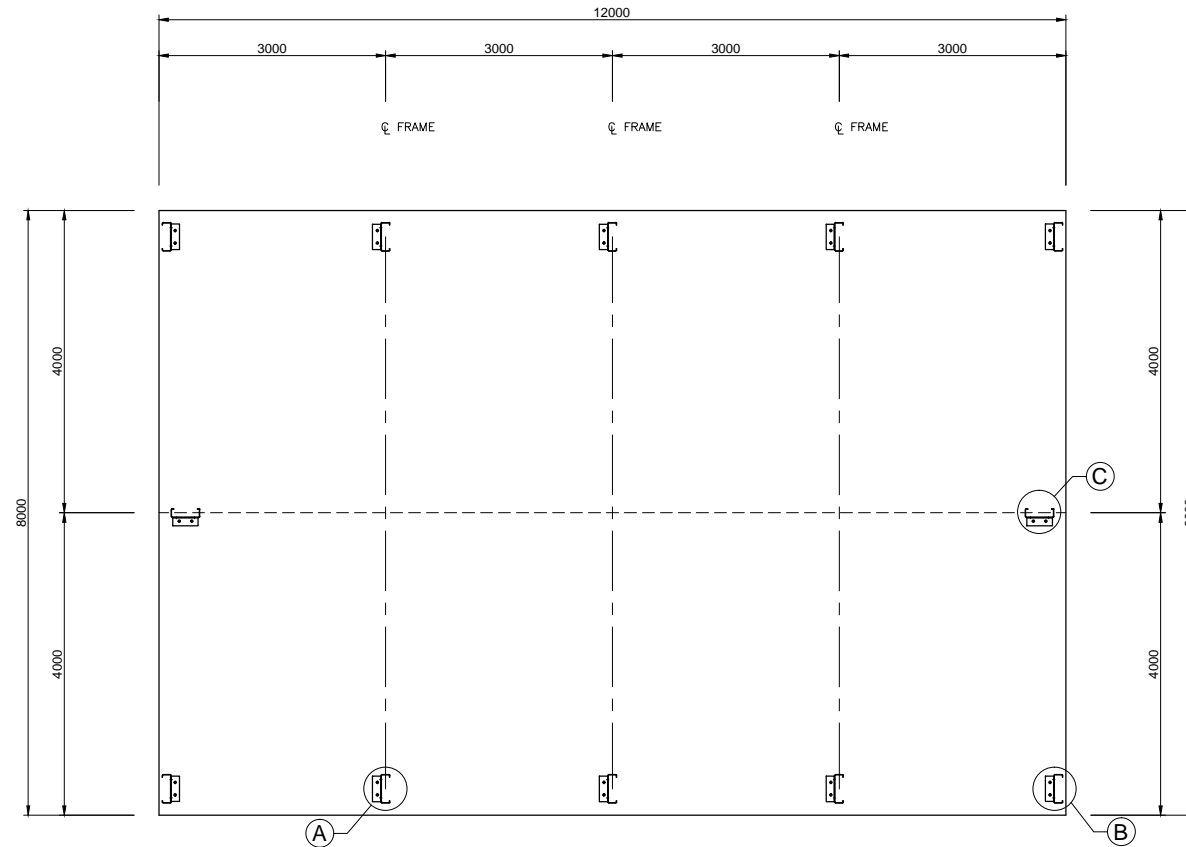
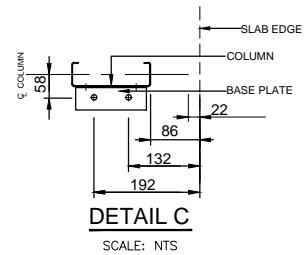
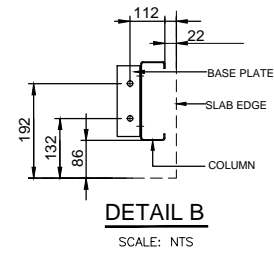
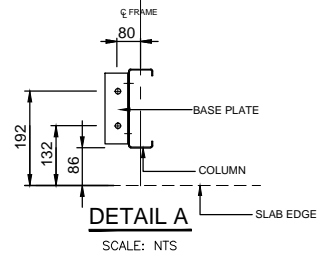
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Regn. No. PE0002216
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Mr Timothy Roy Messer BE MIEAust RPEQ
Signature *T. Messer*
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1 BOLT LAYOUT PLAN
1 SCALE: 1 = 100

IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

JOB NO. MAST36848	DATE 11/10/2023	CHECKED TM	DRAWN FDS	STEEL BUILDING BY M.A. STEEL PTY. LTD. (LIC 225516C) 02 6382 4387 MOHAMMED TEFAI 541 WIRRIMAH ROAD WIRRIMAH			BOLT LAYOUT PLAN

COMPLIANCE CERTIFICATE FOR BUILDING DESIGN

Property Description Street address (include number, street, suburb/locality & postcode)	541 WIRRIMAH ROAD WIRRIMAH Postcode : 2803																													
Description of Component/s Certified Clearly describe the extent of work covered by this certificate.	Steel Portal Frame Structure. 8m span x 12m O/A length x 2.7m eaves height. Consisting of 4 bays at 3m spacing.																													
Basis of Certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	<div>Australian Standards (list) AS/NZS 4600-2018, AS/NZS 1170.0,1-2002, 1170.2-2021, 1170.3-2003, 1170.4-2007, AS2870-2011, AS3600-2018, AS5216-2021</div> <table><tr><td>2022 National Construction Code of Australia</td><td>NCC Building Classification: Class 10</td></tr><tr><td>Region AS1170.2 = Reg A</td><td>Factor for Region = NA</td></tr><tr><td>NCC Importance Level = 2</td><td>NCC Equivalent Wind class = N/A</td></tr><tr><td>Annual Probability Exceedance wind = 1:500</td><td>Design Roof Live Load = 0.25 kPa</td></tr><tr><td>Regional 3 s Gust Wind Speed for annual probability of exceedance V_R = 45 m/s</td><td></td></tr><tr><td>Wind directional multipliers for the 8 cardinal directions M_d = 1.00</td><td></td></tr><tr><td>Terrain/Height multiplier (M_z, Cat) = 0.91</td><td>Shielding Multiplier M_s = 1</td></tr><tr><td>Topographic multiplier M_t = 1</td><td>Design Wind Speed = 41 m/s</td></tr><tr><td>Ext. Pressure Coefficient c_{pe} = -0.65, 0.70</td><td>Int. Pressure Coefficient c_{pi} = -0.65, 0.62</td></tr></table>			2022 National Construction Code of Australia	NCC Building Classification: Class 10	Region AS1170.2 = Reg A	Factor for Region = NA	NCC Importance Level = 2	NCC Equivalent Wind class = N/A	Annual Probability Exceedance wind = 1:500	Design Roof Live Load = 0.25 kPa	Regional 3 s Gust Wind Speed for annual probability of exceedance V_R = 45 m/s		Wind directional multipliers for the 8 cardinal directions M_d = 1.00		Terrain/Height multiplier (M_z , Cat) = 0.91	Shielding Multiplier M_s = 1	Topographic multiplier M_t = 1	Design Wind Speed = 41 m/s	Ext. Pressure Coefficient c_{pe} = -0.65, 0.70	Int. Pressure Coefficient c_{pi} = -0.65, 0.62									
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Ext. Pressure Coefficient c_{pe} = -0.65, 0.70	Int. Pressure Coefficient c_{pi} = -0.65, 0.62																													
Reference Documentation Clearly identify any relevant documentation, e.g numbered structural engineering plans	<div>Drawing Nos: 'Fair Dinkum Sheds' Structural Design Drawing</div> <div>To be read in conjunction with Pages 1 to 8</div> <div>For Job Number: MAST36848 DATED : 11/10/2023</div> <div>Specifications:</div> <div>Computations:</div> <div>Test Reports:</div> <div>Other Documentation:</div>																													
Competent Person Details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in aspect of the design, building or inspection of the building work because of the person's skill and experience in the aspect. The competent person must also be registered or licensed under a law applying in the state to practice the aspect. A COPY OF A CURRENT CV AND PROFESSIONAL REGISTRATION DETAILS MUST BE PROVIDED WITH THE CERTIFICATE	<table><tr><td>Name:</td><td colspan="2">Timothy Roy Messer</td></tr><tr><td>Company Name (If applicable):</td><td colspan="2">Northern Consulting Engineers</td></tr><tr><td>Postal Address:</td><td colspan="2">50 Punari Street, Currajong 4812</td></tr><tr><td>Contact Person:</td><td colspan="2">Timothy Roy Messer</td></tr><tr><td>Telephone Number:</td><td colspan="2">07 4725 5550</td></tr><tr><td>Mobile Number:</td><td colspan="2">N/A</td></tr><tr><td>Fax Number:</td><td colspan="2">07 4725 5850</td></tr><tr><td>Email Address:</td><td colspan="2">design@nceng.com.au</td></tr><tr><td>License or Registration Number:</td><td>2558980</td><td>Copy of CV Attached: Tick Box</td></tr></table> <div>Y <input type="checkbox"/> or N <input checked="" type="checkbox"/></div>			Name:	Timothy Roy Messer		Company Name (If applicable):	Northern Consulting Engineers		Postal Address:	50 Punari Street, Currajong 4812		Contact Person:	Timothy Roy Messer		Telephone Number:	07 4725 5550		Mobile Number:	N/A		Fax Number:	07 4725 5850		Email Address:	design@nceng.com.au		License or Registration Number:	2558980	Copy of CV Attached: Tick Box
Name:	Timothy Roy Messer																													
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Mobile Number:	N/A																													
Fax Number:	07 4725 5850																													
Email Address:	design@nceng.com.au																													
License or Registration Number:	2558980	Copy of CV Attached: Tick Box																												
Signature of Competent Person This form may be used by competent persons to certify the design of a material, system, method of building, building element design or other thing. If the competent person is a licensed company the authorised person of the company is to sign the form.	<div>I certify that the item/s described above, if installed or carried out in accordance with the information conatined in this certificate, including any referenced documentation, will comply with the National Construction Code of Australia/relevant Australian or International Standard.</div> <div>Signature of competent person: </div> <div>Date: 11/10/2023</div>																													

LOCAL GOVERNMENT USE ONLY

Date received		Reference Number/s		
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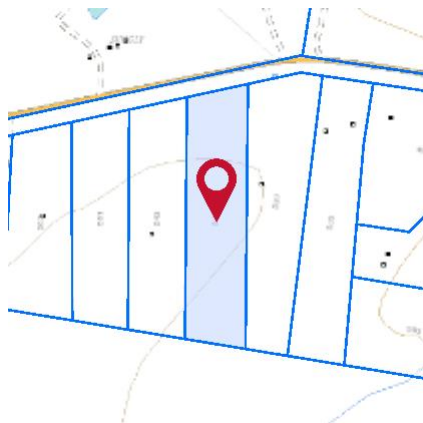
SECTION 4

PLANNING PORTAL REPORT



Property Report

541 WIRRIMAH ROAD WIRRIMAH 2803



Property Details

Address: 541 WIRRIMAH ROAD WIRRIMAH 2803
Lot/Section 7/-/DP1145771
/Plan No:
Council: HILLTOPS COUNCIL

Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Hilltops Local Environmental Plan 2022 (pub. 23-12-2022)
Land Zoning	RU1 - Primary Production: (pub. 23-12-2022)
Height Of Building	NA
Floor Space Ratio	NA
Minimum Lot Size	24 ha
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Terrestrial Biodiversity	Biodiversity

Detailed planning information

State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)



Property Report

541 WIRRIMAH ROAD WIRRIMAH 2803

- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Allowable Clearing Area (pub. 21-10-2022)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008)
- State Environmental Planning Policy (Housing) 2021: Land Application (pub. 26-11-2021)
- State Environmental Planning Policy (Industry and Employment) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Planning Systems) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Primary Production) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resilience and Hazards) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resources and Energy) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Sustainable Buildings) 2022: Land Application (pub. 29-8-2022)
- State Environmental Planning Policy (Transport and Infrastructure) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy No 65—Design Quality of Residential Apartment Development: Land Application (pub. 26-7-2002)

Other matters affecting the property

Information held in the Planning Database about other matters affecting the property appears below. The property may also be affected by additional planning controls not outlined in this report. Please speak to your council for more information

Land near Electrical Infrastructure	This property may be located near electrical infrastructure and could be subject to requirements listed under ISEPP Clause 45. Please contact Essential Energy for more information.
Local Aboriginal Land Council	COWRA
Regional Plan Boundary	South East and Tablelands

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)

SECTION 5

TITLES & DEP PLANS



FOLIO: 7/1145771

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
3/11/2023	8:48 AM	4	17/11/2017

LAND

LOT 7 IN DEPOSITED PLAN 1145771
AT WIRRIMAH
LOCAL GOVERNMENT AREA HILLTOPS
PARISH OF WAMBANUMBA COUNTY OF MONTEAGLE
TITLE DIAGRAM DP1145771

FIRST SCHEDULE

MOHAMMED TEFAILI (T AG413253)

SECOND SCHEDULE (7 NOTIFICATIONS)

- 1 LAND EXCLUDES MINERALS (S.171 CROWN LANDS ACT 1989)
- 2 DP1145771 RIGHT OF ACCESS 10 METRE(S) WIDE AFFECTING THE
PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
AG211827 EASEMENT RELEASED IN SO FAR AS IT BENEFITS LOT 8
IN DP1145771
- 3 DP1145771 EASEMENT FOR OVERHEAD POWER LINE(S) 20 METRE(S) WIDE
AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE
DIAGRAM
- 4 DP1145771 EASEMENT FOR OVERHEAD POWER LINE(S) 20 METRE(S) WIDE
APPURTENANT TO THE LAND ABOVE DESCRIBED
- 5 DP1145771 EASEMENT FOR SERVICES 5 METRE(S) WIDE AFFECTING THE
PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 6 DP1145771 RESTRICTION(S) ON THE USE OF LAND AFFECTING THE PART
SHOWN SO BURDENED IN THE TITLE DIAGRAM REFERRED TO AND
NUMBERED (5) IN THE S.88B INSTRUMENT
- 7 AM844731 EASEMENT FOR UNDERGROUND POWERLINES 1 WIDE AFFECTING
THE PART DESIGNATED (U) IN PLAN WITH AM844731

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

TEFAILI

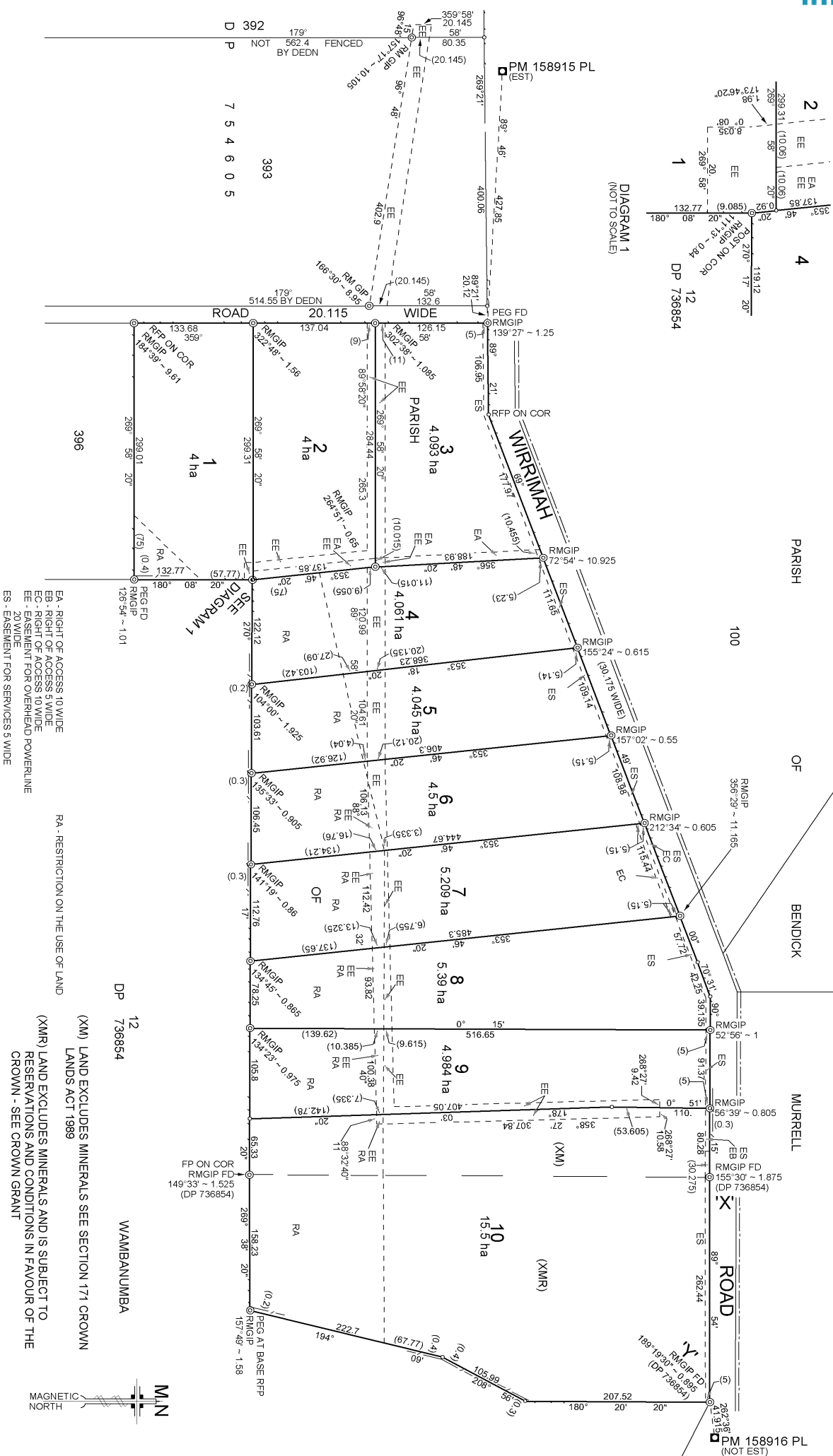
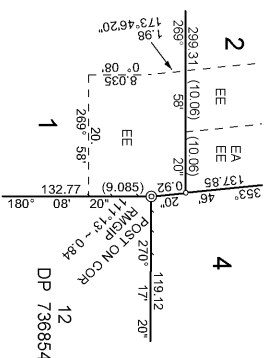
PRINTED ON 3/11/2023



SURVEYING REGULATION 2006, CLAUSE 35(1)(b) & CLAUSE 61(2)					
M.G.A. COORDINATES (G.D.A.94)					
MARK	EASTINGS	NORTHINGS	ZONE	CLASS	ORDER
PM 158915	629966	6222561	55	U	N/A
PM 158916	631733	6222542	55	U	N/A
DATE	APRIL 4, 2008				
ORIGIN	METHOD	PLACED	GPS		

PM 158915 - PM 158916
81°32'40" ~ 174°15'

DIAGRAM 1
(NOT TO SCALE)



Surveyor: VINCENT PAUL CURTIS
Date of Survey: APRIL 9, 2008
Surveyor's Ref: 14574 CHECKLIST

PLAN OF SUBDIVISION OF LOT 11 IN DP 736854
AND LOTS 394 & 395 IN DP 754605 AND
EASEMENT FOR OVERHEAD POWERLINE
20 WIDE WITHIN LOT 392 & 393 DP 754605

LGA: YOUNG
Locality: WIRIMAH
Subdivision No: 2007/DA-00197
Length in Meters: 1.3 000

Registered
22.12.2009

DP1145771

(XMR) LAND EXCLUDES MINERALS AND IS SUBJECT TO
RESERVATIONS AND CONDITIONS IN FAVOUR OF THE
CROWN - SEE CROWN GRANT

(XM) LAND EXCLUDES MINERALS SEE SECTION 171 CROWN
LANDS ACT 1989

RA - RESTRICTION ON THE USE OF LAND

EA - RIGHT OF ACCESS 10 WIDE
EB - RIGHT OF ACCESS 5 WIDE
EC - RIGHT OF ACCESS 10 WIDE
ED - EASEMENT FOR OVERHEAD POWERLINE
ES - EASEMENT FOR SERVICES 5 WIDE

10	20	30	40	50	60	70	80	90	100	110	120	130	140
Table of mm													

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 1 sheet(s)

SIGNATURES, SEALS and STATEMENTS of intention to dedicate public roads, to create public reserves, drainage reserves, easements, restrictions on the use of land or positive covenants.

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT, 1919, IT IS INTENDED TO CREATE

1. RIGHT OF ACCESS 10 WIDE
2. RIGHT OF ACCESS 5 WIDE
3. EASEMENT FOR OVERHEAD POWERLINE 20 WIDE
4. EASEMENT FOR SERVICES 5 WIDE
5. RESTRICTION ON THE USE OF LAND
6. Restriction as to user

Am Taini

Je Sauter

De Sauter

Use PLAN FORM 6A

for additional certificates, signatures, seals and statements

Crown Lands NSW/Western Lands Office Approval

I.....in approving this plan certify
(Authorised Officer)
that all necessary approvals in regard to the allocation of the land shown herein have been given

Signature:.....
Date:.....
File Number:.....
Office:.....

Subdivision Certificate

I certify that the provisions of s.109J of the Environmental Planning and Assessment Act 1979 have been satisfied in relation to:

the proposed **SUBDIVISION** set out herein
(insert 'subdivision' or 'new road')

[Signature]

* Authorised Person/General Manager/Accredited Certifier

Consent Authority: **YOUNG SHIRE COUNCIL**
Date of Endorsement: **3 FEB 2009**
Accreditation no:
Subdivision Certificate no: **2007/DA-197**
File no: **149.00**

* Delete whichever is inapplicable.



DP1145771 S

Registered:  22.12.2009

Title System: **TORRENS**

Purpose: **SUBDIVISION**

**PLAN OF SUBDIVISION OF LOT 11 IN
DP 736854 AND LOTS 394 & 395 IN DP 754605
AND EASEMENT FOR OVERHEAD
POWERLINE 20 WIDE WITHIN LOT 392 & 393
DP 754605**

LGA: **YOUNG**

Locality: **WIRRIMAH**

Parish: **WAMBANUMBA**

County: **MONTEAGLE**

Surveying Regulation, 2006

I, VINCENT PAUL CURTIS
of CPC LAND DEVELOPMENT CONSULTANTS PTY LTD
a surveyor registered under the *Surveying Act, 2002*, certify that the survey represented in this plan is accurate, has been made in accordance with the *Surveying Regulation, 2006* and was completed on: APRIL 9, 2008

The survey relates to WHOLE OF PLAN
(specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey)

Signature *Vincent P. Curtis*
Surveyor registered under the *Surveying Act, 2002*

Datum Line: 'X' - 'Y'
Type: Rural

Plans used in the preparation of survey

DP 317439
DP 603263
DP 736854
M 5582-1780
M 6072-1780
M 6073-1780
M 6074-1780
M 6075-1780

(if insufficient space use Plan Form 6A annexure sheet)

SURVEYOR'S REFERENCE: 14574 CHECKLIST

* OFFICE USE ONLY

**Instrument setting out terms of Easements or Profits à Prendre
intended to be created or released and of Restrictions on the Use of
Land or Positive Covenants intended to be created pursuant to
Section 88B Conveyancing Act, 1919.**

(Sheet 1 of 4 Sheets)



DP1145771 B

**Plan of subdivision of lot 11 in
DP 736854 ands lots 394 & 395 in
DP 754605 and easement for overhead
powerline 20 wide within lots 392 & 393
in DP 754605**

**Full name and address of the
owner of the land:**

**George Richard Parris
531 Wirrimah Road, Young, NSW, 2594**

**Maureen Anne Parris
531 Wirrimah Road, Young, NSW, 2594**

**Joseph Clifford Dowton
Berton Park ~~North~~, Wirrimah NSW 2803**

**Annette Clare Dowton
Berton Park ~~North~~, Wirrimah NSW 2803**

(Sheet 2 of 4 Sheets)

Plan:

DP1145771

**Plan of subdivision of lot 11 in
 DP 736854 and lots 394 & 395 in
 DP 754605 and easement for overhead
 powerline 20 wide within lots 392 & 393
 in DP 754605**

Part 1 (Creation)

Number of item shown in the intention panel on the plan	Identity of easement, profit à prendre, restriction or positive covenant to be created and referred to in the plan	Burdened lot(s) or parcel(s)	Benefited lot(s), road(s), bodies or Prescribed Authorities
1	Right of access 10 wide	3 2 7	1,2 1 6 & 8
2	Right of access 5 wide	10	9
3	Easement for overhead powerline 20 wide	393 DP 754605 392 DP 754605 1 to 10 incl	1 to 10 incl & Country Energy ABN 37 428 185 226 Each other lot & Country Energy ABN 37 428 185 226
4	Easement for services 5 wide	3 to 10 incl	Telstra ABN 55 251 596 094 Young Council ABN 92 613 026 544 Each other lot
5	Restriction on the use of land	1 to 10 incl PT LOT 1, PT LOTS 4 to 10	Young Council ABN 92 613 026 544
6	Restriction as to user	1, 2	Young Shire Council ABN 92 613 026 544

(Sheet 3 of 4 Sheets)

Plan:

DP1145771

**Plan of subdivision of lot 11 in
DP 736854 ands lots 394 & 395 in
DP 754605 and easement for overhead
powerline 20 wide within lots 392 & 393
DP 754605**

Part 2 (Terms of easements and restrictions numbered 3,5 and 6 in the plan)

1. Terms of Easement for overhead powerline 20 wide thirdly referred to in the abovementioned plan

Easement for overhead powerlines the terms of which are set out in Part A of Memorandum AA26009 as registered at the LPI of NSW

2. Terms of Restriction on the use of land fifthly referred to in the abovementioned plan

- a. No dwelling may be erected within areas shown "RA" on the accompanying plan.
- b. No dwelling may be erected on the subject land other than with Young Council approval

3. Terms of Restriction as to user sixthly referred to in the abovementioned plan

Young Shire Council will not issue any development consents for Lots 1 and 2 until such time as the right of access servicing these lots (Right of Access EA) has been constructed to Young Shire Council specifications.

APPROVED
YOUNG SHIRE COUNCIL
DA No. 2007 / DA - 197

GROUP LEADER - Planning and Environment

(Sheet 4 of 4 Sheets)

DP1145771

**Plan of subdivision of lot 11 in
DP 736854 ands lots 394 & 395 in
DP 754605 and easement for overhead
powerline 20 wide within lots 392 & 393
in DP 754605**

Executed by)

George Richard Parris)

in the presence of :-)



Margaret Mulling

Executed by)

Maureen Anne Parris)

in the presence of :-)

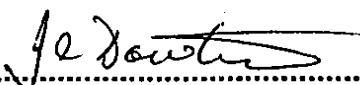


Margaret Mulling
38 Boorawa St
Yang 2594

Executed by)

Joseph Clifford Dowton)

in the presence of :-)

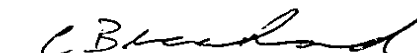


Craig Blanchard

Executed by)

Annette Clare Dowton)

in the presence of :-)



Craig Blanchard
38 Boorawa St
Yang 2594

REGISTERED



22.12.2009

SECTION 6

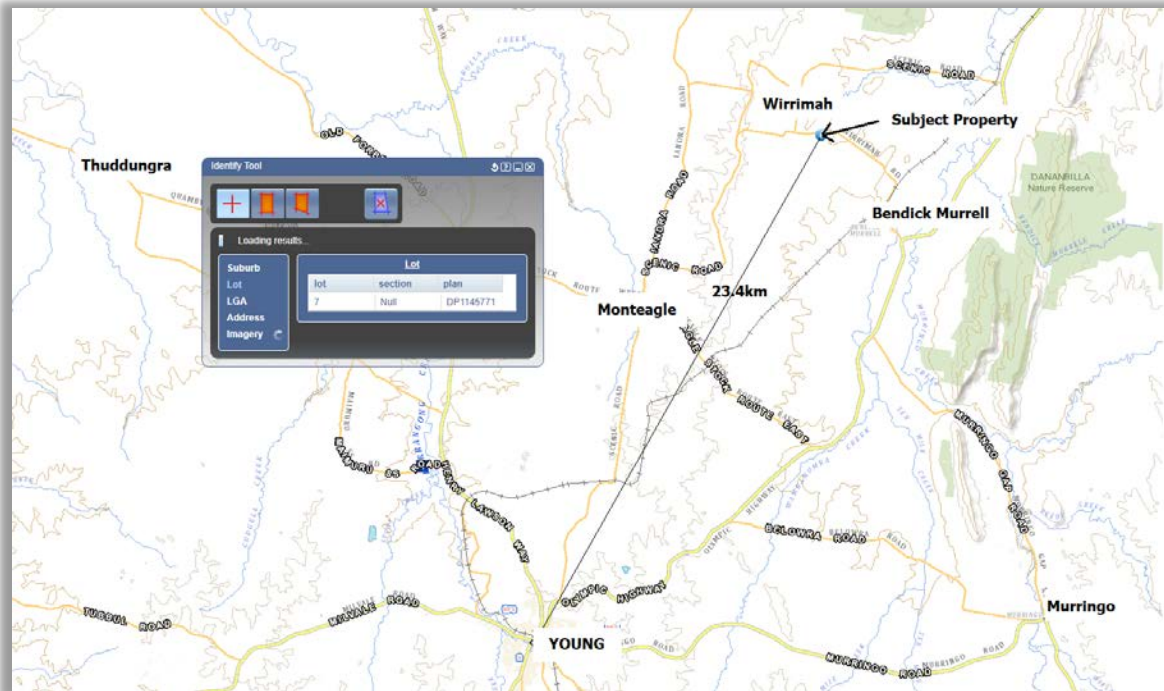
SEARCH IMAGES



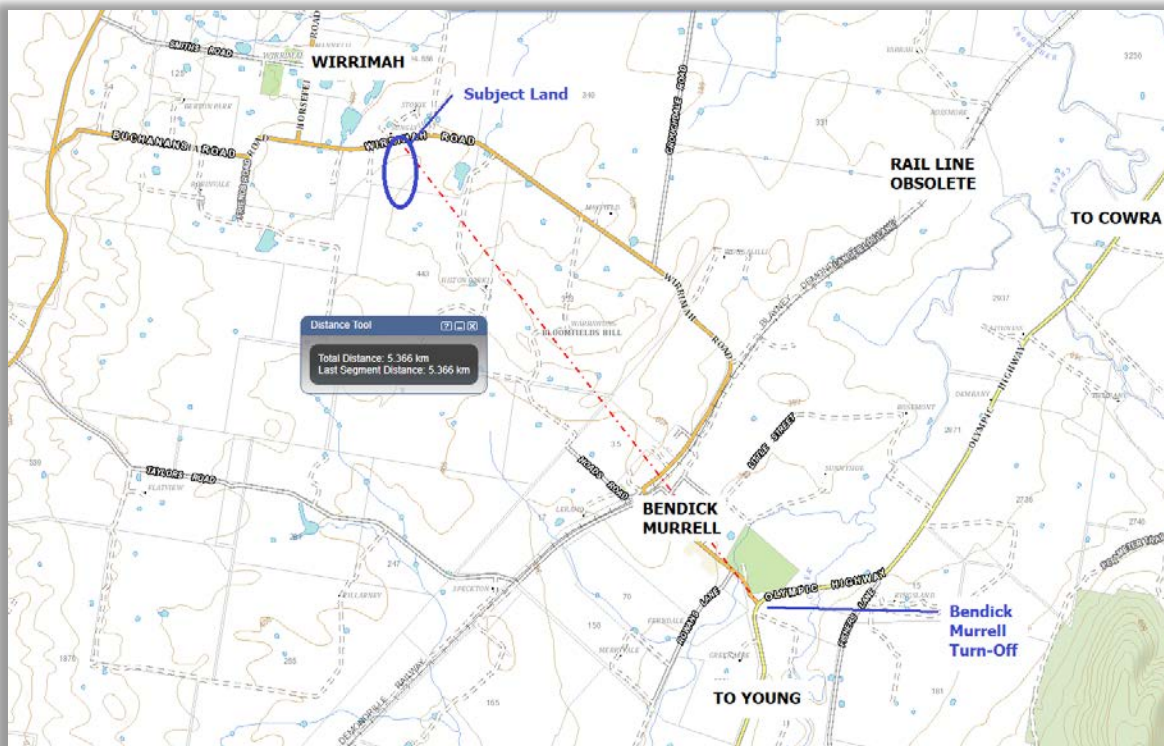
Aerial image of Lot – SIX maps



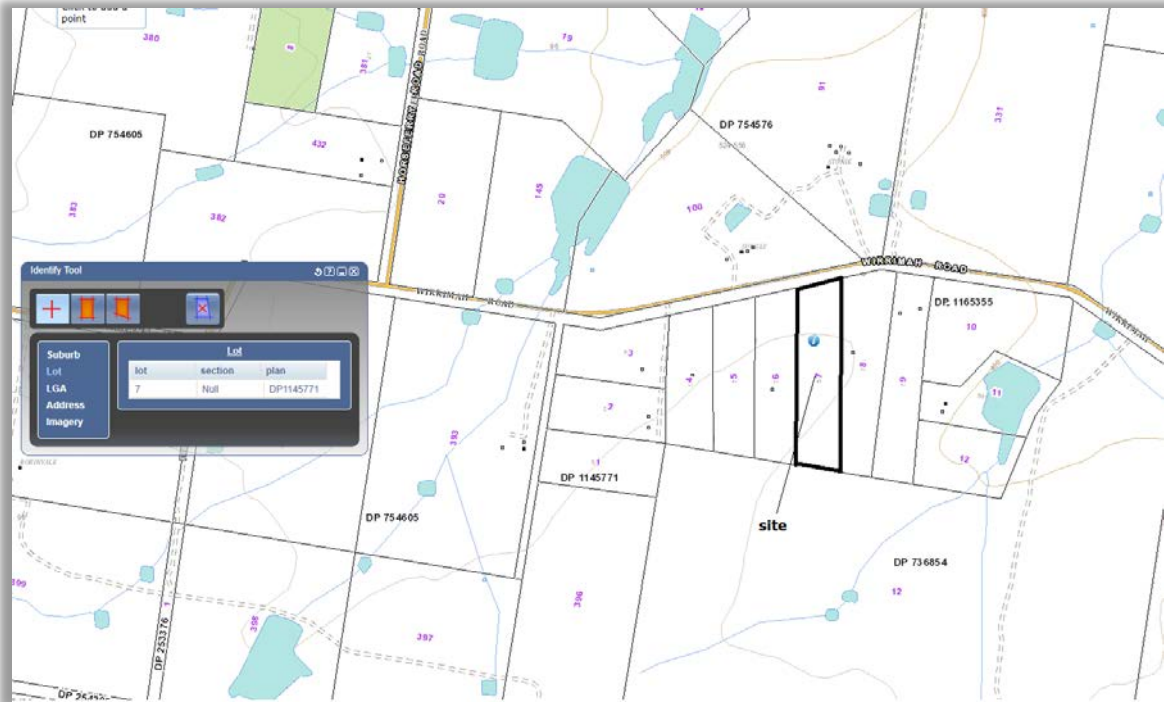
GOOGLE Image – tagged



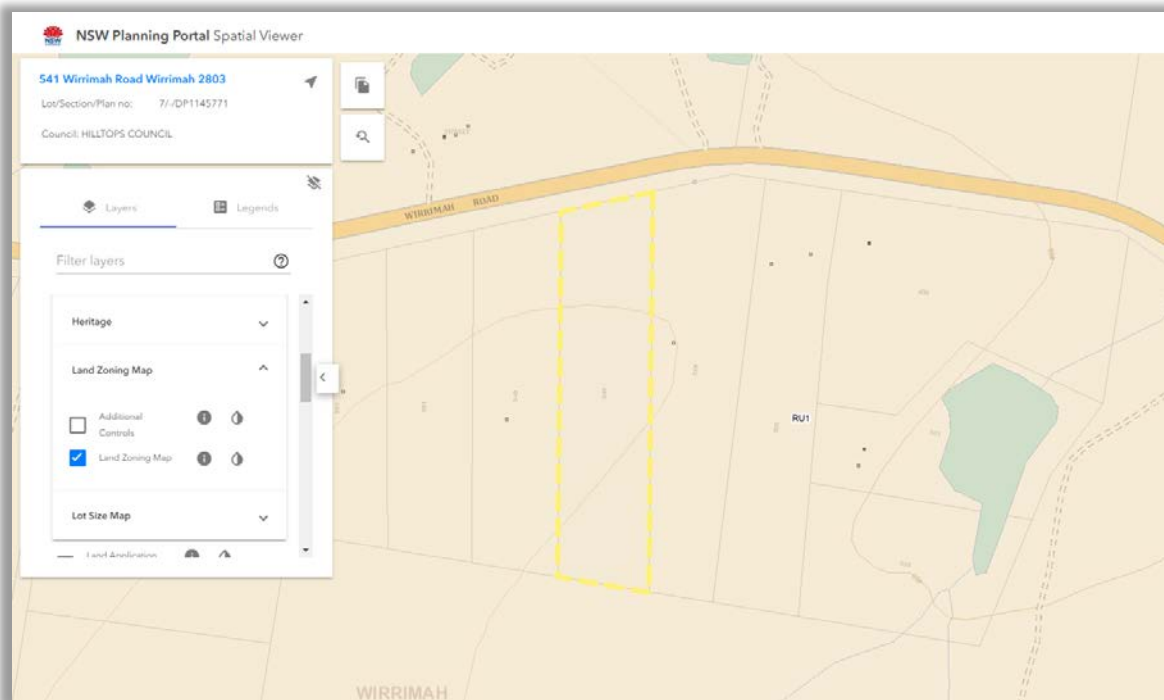
Locality Map (SIX NSW) – Wirrimah is 23.4km from Young



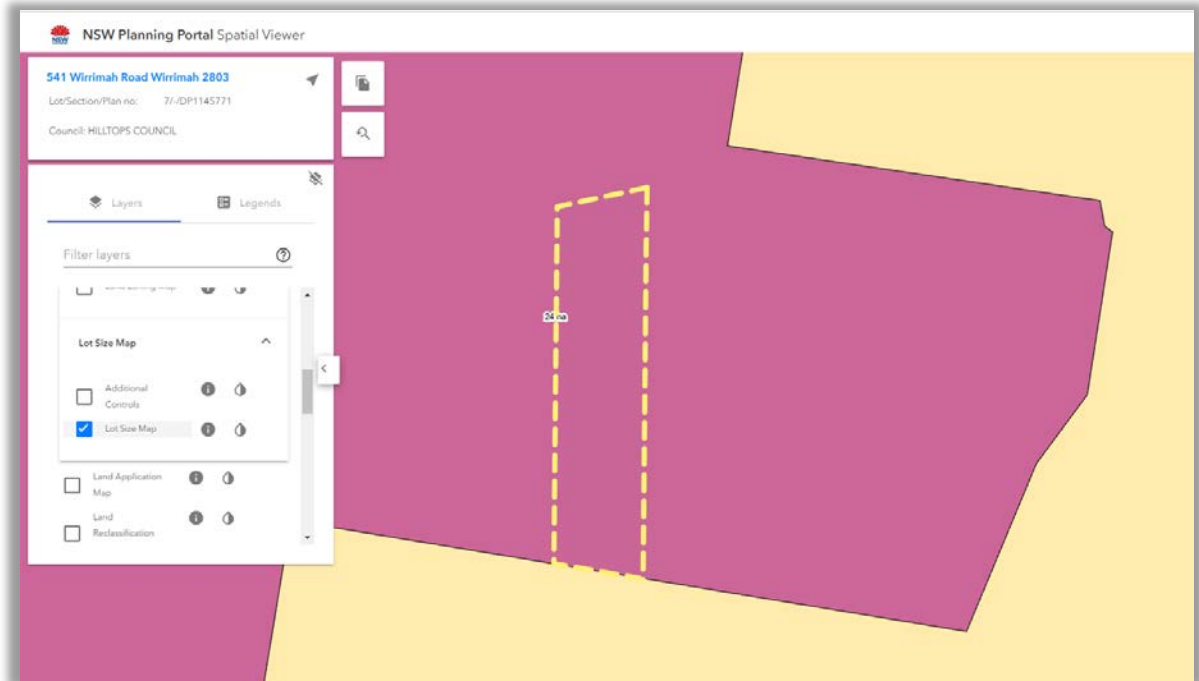
Locality Map (SIX NSW) – 5.36km from Bendick Turn Off at Olympic Way



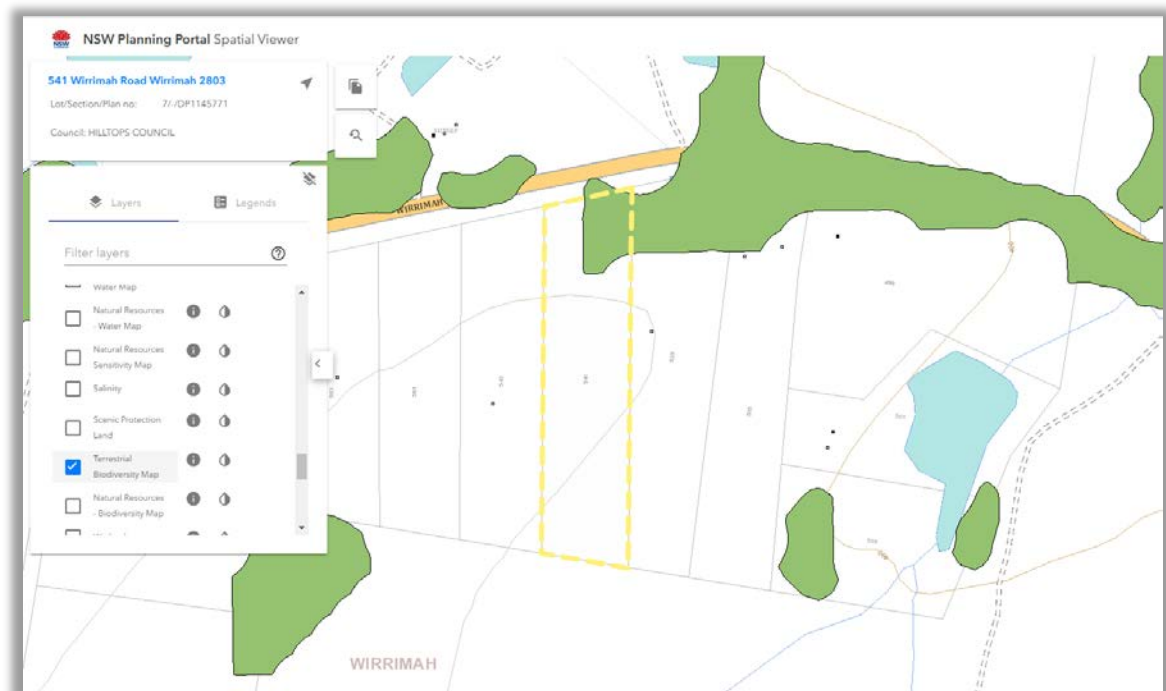
Topographic Map of Lot (SIX NSW)
Level saddle quite obvious from above



Zone Map – RU1



LEP Lot Size Mapping
Wirrimah Locality = 24ha yet prior approved subdivision



NATURAL RESOURCE BIODIVERSITY SENSITIVITY
NOTE: SITE OF WORK NOT NEAR AFFECTATION

Biodiversity Values Map and Threshold Report

This report is generated using the Biodiversity Values Map and Threshold (BMAT) tool. The BMAT tool is used by proponents to supply evidence to a consent authority to determine whether or not a Biodiversity Development Assessment Report (BDAR) is required under [the Biodiversity Conservation Regulation 2017 \(Cl. 7.2 & 7.3\)](#).

The report provides results for the proposed development footprint area identified by the user and displayed within the blue boundary on the map.

There are two pathways for determining whether or not a BDAR is required for the proposed development:

1. Is there Biodiversity Values Mapping?
2. Is the 'clearing of native vegetation area threshold' exceeded?

Biodiversity Values Map and Threshold Report		
Date of Report Generation		03/11/2023 8:45 AM
Biodiversity Values (BV) Map Threshold - Results Summary		
1	Does the development Footprint intersect with BV mapping?	no
2	Was ALL of the BV Mapping within the development footprinted added in the last 90 days? (dark purple mapping only, no light purple mapping present)	no
3	Date of expiry of dark purple 90 day mapping*	N/A
4	Is the Biodiversity Values Map threshold exceeded?	no
Area Clearing Threshold - Results Summary		
5	Size of the development or clearing footprint	579.1 sqm
6	Native Vegetation Area Clearing Estimate (NVACE)	0.0 sqm
7	Method for determining Minimum Lot Size	LEP
8	Minimum Lot Size (10,000sqm = 1ha)	240,000 sqm
9	Area Clearing Threshold (10,000sqm = 1ha)	5,000 sqm
10	Is the Area Clearing Threshold exceeded?	no
Is the proposed development assessed above the Biodiversity Offsets Schema (BOS) threshold? Exceeding the BOS threshold will require completion of a Biodiversity Development Assessment Report (BDAR). More details provided on page 2.		no

What do I do with this report?

- If the result above indicates a BDAR is required, a Biodiversity Development Assessment Report may be required with your development application. Go to <https://customer.lmbc.nsw.gov.au/assessment/AccreditedAssessor> to access a list of accredited assessors. An accredited assessor can apply the Biodiversity Assessment Method and prepare a BDAR.
- If the result above indicates a BDAR is not required, you have not exceeded the BOS threshold. This report can be provided to Council to support your development application. You may still require a permit from your local council. Review the development control plan and consult with council. You may still be required to assess whether the development is “likely to significantly affect threatened species” as determined under the test in Section 7.3 of the Biodiversity Conservation Act 2016. You may also be required to review the area where no vegetation mapping is available.
- If all Biodiversity Values mapping within your development footprint are less than 90 days old, i.e. mapping is displayed as dark purple on the map, a BDAR may not be required if your Development Application is submitted within that 90 day period. *Any BV mapping less than 90 days old on this report will expire on the date provided in Line item 3 above.

For more detailed advice about actions required, refer to the Interpreting the evaluation report section of the [Biodiversity Values Map Threshold Tool User Guide](#).

Review Options:

- If you believe the Biodiversity Values mapping is incorrect please refer to our [BV Map Review webpage](#) for further information.
- If you disagree with the NVACE result for Line Item 6 above (i.e. area of Native Vegetation within the Development footprint proposed to be cleared) you can undertake a self-assessment. For more information about this refer to the Guide for reviewing BMAT Tool area clearing threshold results.

Acknowledgement

I, as the applicant for this development, submit that I have correctly depicted the area that will be impacted or likely to be impacted as a result of the proposed development.

Signature: _____

(Typing your name in the signature field will be considered as your signature for the purposes of this form)

Date: _____

03/11/2023 08:45 AM

Biodiversity Values Map



558.6 0 279.28 558.6 Metres

WGS_1984_Web_Mercator_Auxiliary_Sphere

Legend

- Biodiversity Values that have been mapped for more than 90 days
- Biodiversity Values added within last 90 days
- Native Vegetation Area Clearing Estimate (NVACE)
- Development area selected by proponent

03/11/2023 08:45 AM

1: 10,995



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Imagery © Airbus DS/Spot Image 2016

© NSW Department of Customer Service, Basemaps 2019

© NSW Department of Planning and Environment

The results provided in this tool are generated using the best available mapping and knowledge of species habitat requirements.

This map is valid as at the date the report was generated. Checking the [Biodiversity Values Map viewer](#) for mapping updates is recommended.

Kenneth Filmer

Date: 03 November 2023

18 Pineview Cct 91 Boorowa Street Young
Young New South Wales 2594

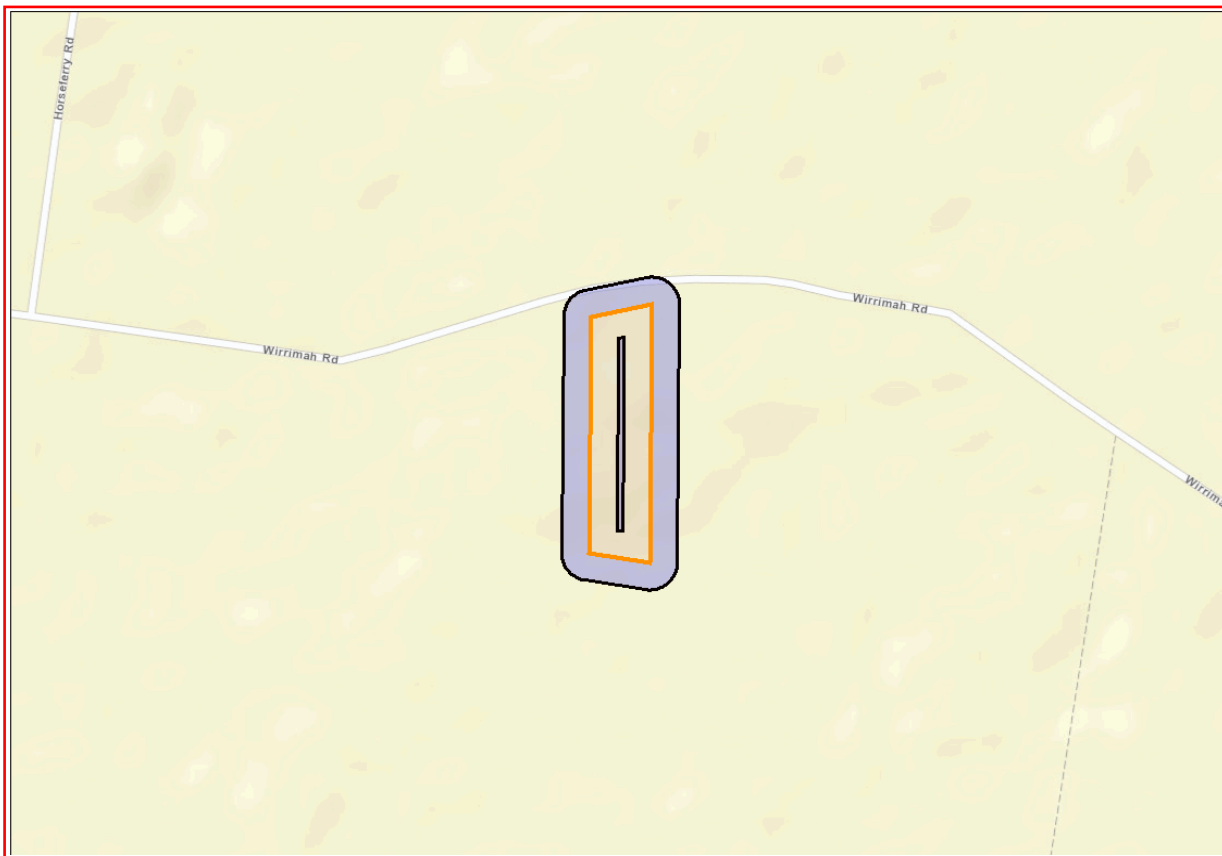
Attention: Kenneth Filmer

Email: craig@dabusters.com

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 7, DP:DP1145771, Section : - with a Buffer of 50 meters, conducted by Kenneth Filmer on 03 November 2023.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.